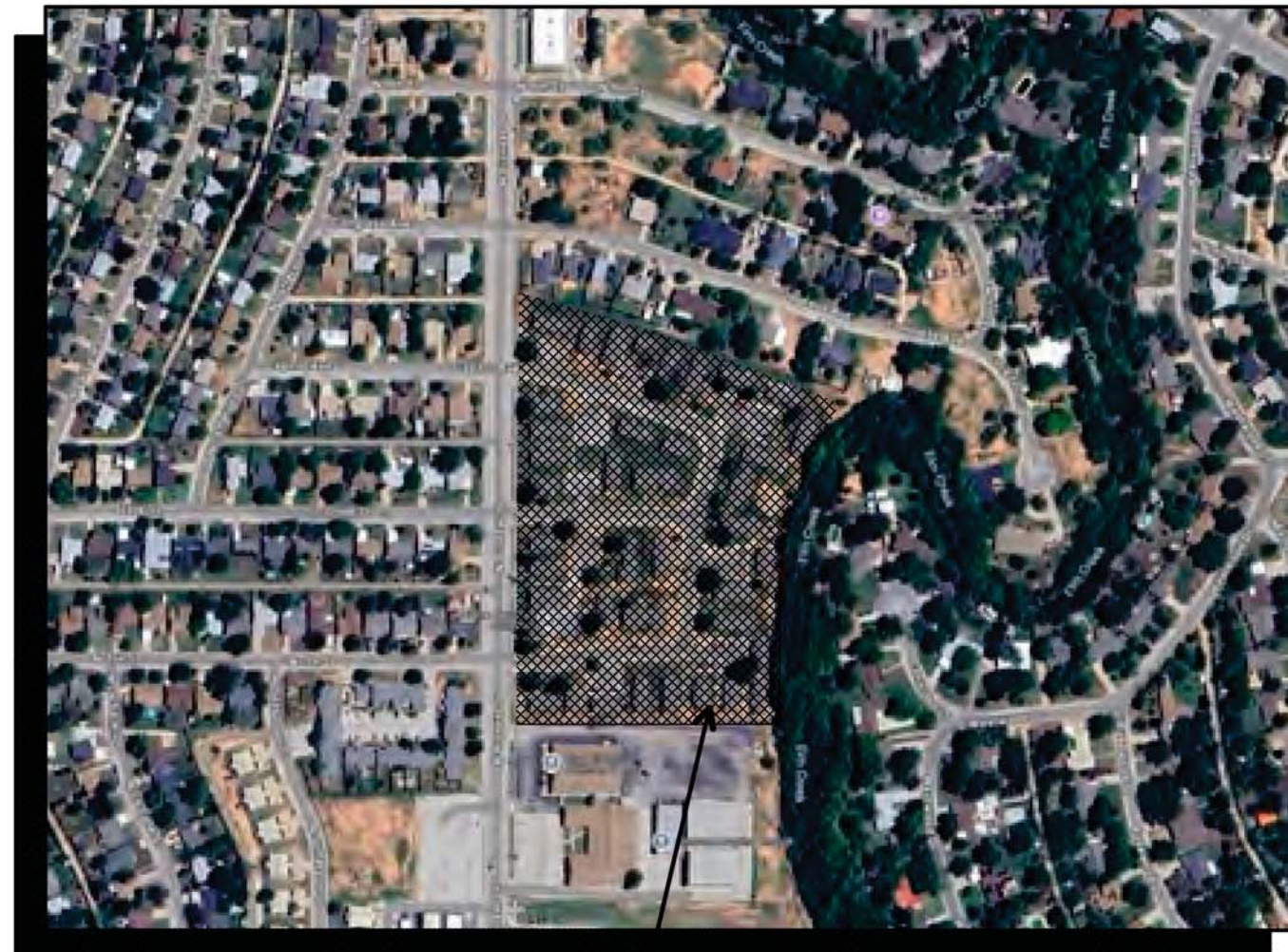


# ABILENE HOUSING AUTHORITY

## PROJECT NUMBER: 2024-009 UNIT RENOVATIONS

**EARL WILLIAMS APARTMENTS UNIT RENOVATIONS**  
 4398 N. 7TH ST.  
 ABILENE, TEXAS 79603

VICINITY MAP:



SITE LOCATION

**BRAILSFORD 'B' APARTMENTS UNIT RENOVATIONS**  
 2100 VOGEL ST.  
 ABILENE, TEXAS 79603

VICINITY MAP:



SITE LOCATION

**RIVIERA APARTMENTS UNIT RENOVATIONS**  
 3001 NORTH SIXTH STREET  
 ABILENE, TEXAS 79603

VICINITY MAP:



SITE LOCATION

**BRAILSFORD 'D' APARTMENTS UNIT RENOVATIONS**  
 2250 VOGEL ST.  
 ABILENE, TEXAS 79603

VICINITY MAP:



SITE LOCATION

**CONSTRUCTION CODES:**

2021 INTERNATIONAL BUILDING CODE  
 2021 INTERNATIONAL EXISTING BUILDING CODE  
 2021 INTERNATIONAL MECHANICAL CODE  
 2021 IECC ENERGY CONSERVATION CODE  
 2020 NATIONAL ELECTRIC CODE  
 AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES  
 TEXAS ACCESSIBILITY STANDARDS

BUILDING OCCUPANCY: R3  
 CONSTRUCTION TYPE: TYPE VB

**SHEET INDEX**

ARCHITECTURAL	REVISION	DATE
COVER SHEET		
A-1.01B SITE PLAN - BRAILSFORD COMPLEX B		
A-2.01B UNIT PLAN RENOVATION - TYPE F4		
A-2.02B UNIT PLAN MAKE READY - TYPE F4		
A-1.01D SITE PLAN - BRAILSFORD COMPLEX D		
A-2.01D UNIT PLAN RENOVATION - TYPE F2		
A-2.02D UNIT PLAN MAKE READY - TYPE F3		
A-1.01E SITE PLAN - EARL WILLIAMS APARTMENTS		
A-2.01E UNIT PLAN MAKE READY - TYPE D		
A-2.02E UNIT PLAN MAKE READY - TYPE DH		
A-2.03E UNIT PLAN MAKE READY - TYPE E		
A-2.04E UNIT PLAN MAKE READY - TYPE F		
A-1.01R SITE PLAN - RIVIERA APARTMENTS		
A-2.01R UNIT PLAN MAKE READY - 3 BEDROOM TYPE		
A-2.02R UNIT PLAN MAKE READY - 4 BEDROOM TYPE		

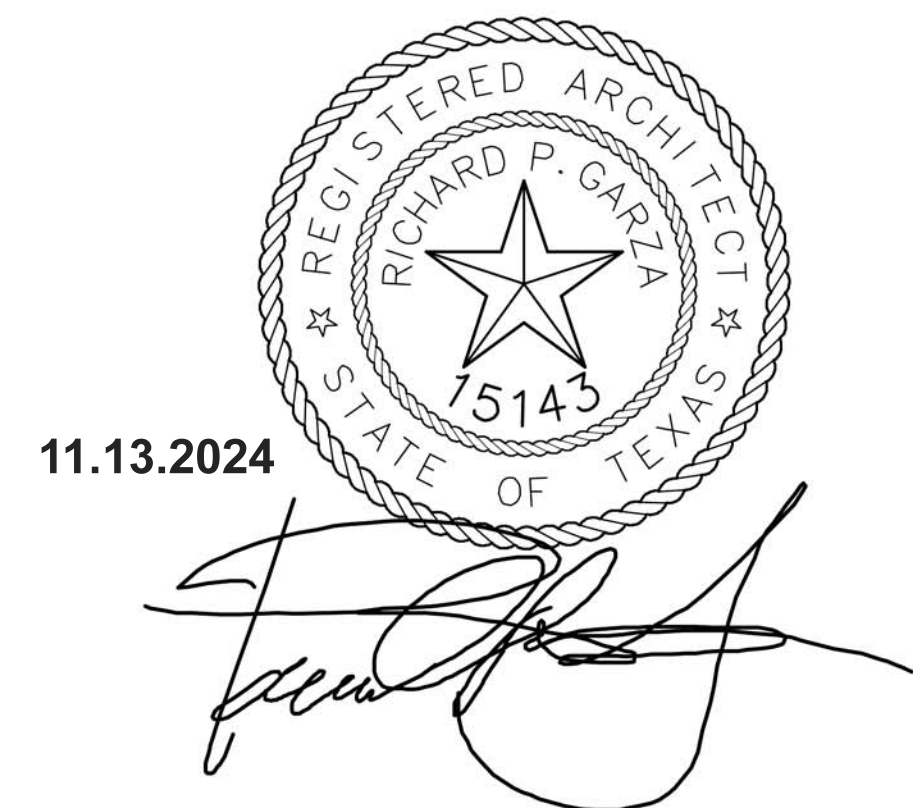
**DEFINITIONS:**

RENOVATION-UNITS DESIGNATED FOR RENOVATION WILL HAVE INTERIORS DEMOED AND NEW MATERIALS, FIXTURES & FINISHES WILL BE INSTALLED ACCORDING TO PLANS AND SPECIFICATIONS.

MAKE READY- UNITS DESIGNATED FOR MAKE-READY WILL BE CLEANED, REPAIRED AND REFURBISHED TO AN ACCEPTABLE LEVEL OF HABITATION FOR FUTURE TENANTS.

**NOTES:**

FOR MAKE-READY UNITS, THE CONTRACTOR WILL CARRY AN ALLOWANCE OF \$15,000/ UNIT. PRIOR TO WORK BEGINNING, THE CONTRACTOR SHALL PREPARE A DETAILED COST ESTIMATE OF THE TOTAL SCOPE FOR MAKE-READY WORK PER UNIT. THE COST ESTIMATE WILL BE REVIEWED BY AHA & THE ARCHITECT PRIOR TO NOTICE TO PROCEED.



**OWNER:**  
 ABILENE HOUSING AUTHORITY  
 4398 NORTH 7TH STREET  
 ABILENE, TX 79603  
 Deborah Hart  
 Telephone: 325-676-6385 EXT. 6012  
 Email: [deborah.hart@abileneha.org](mailto:deborah.hart@abileneha.org)

**ARCHITECT:**  
 RPGA Design Group, inc.  
 1530 Rio Grande Ave.  
 Fort Worth, Texas 76102  
 Telephone: 817-332-9477  
 Fax: 817-332-9487  
 Principal: Rick Garza  
 Email: [rickgarza@rpgaarchitects.com](mailto:rickgarza@rpgaarchitects.com)  
 Project Manager: Dustin Higgins  
 Email: [dhiggins@rpgaarchitects.com](mailto:dhiggins@rpgaarchitects.com)

ISSUE FOR CONSTRUCTION DATE:

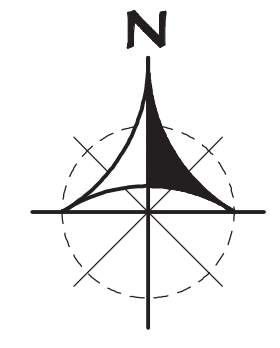
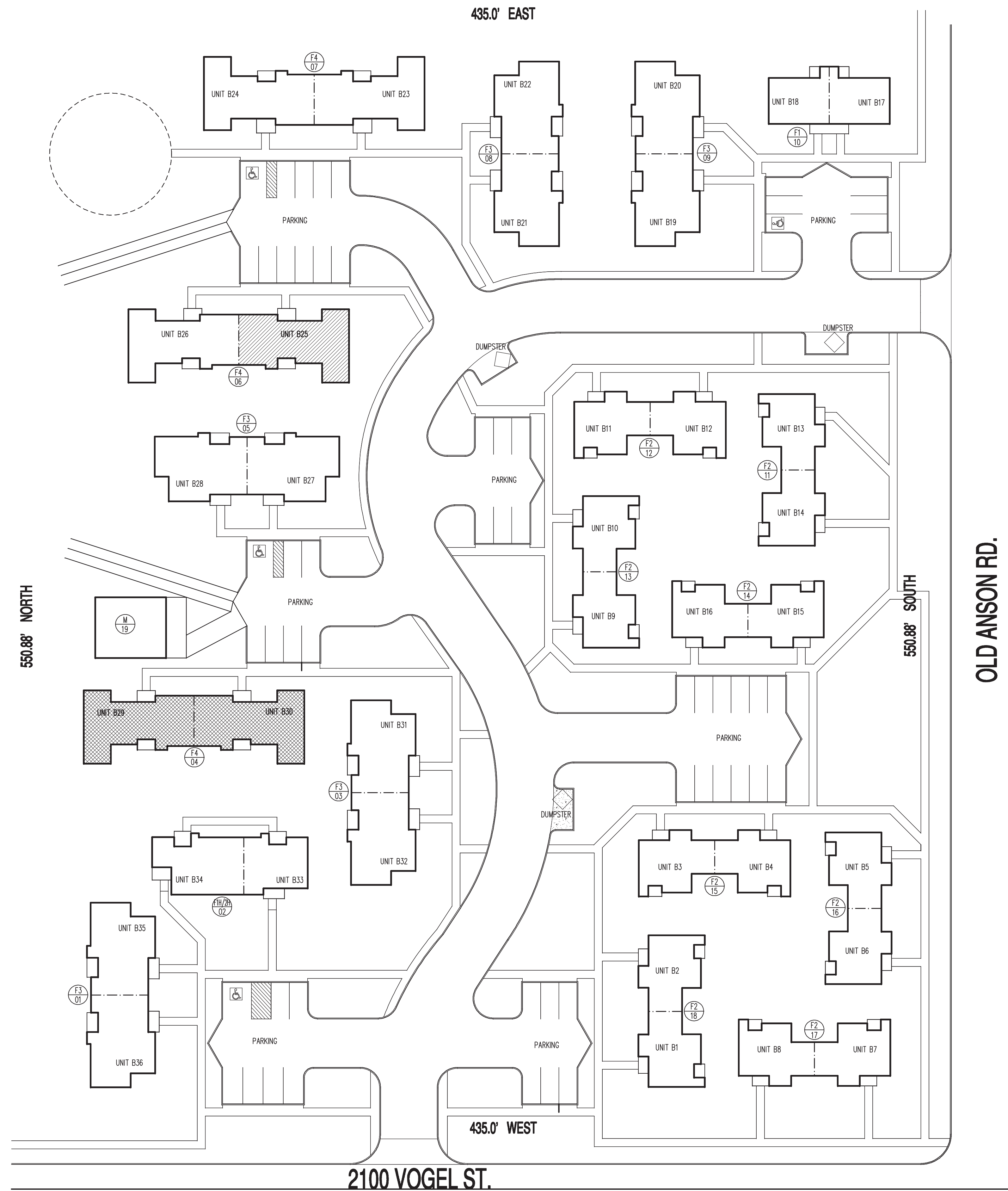
11.13.2024



1530 Rio Grande Fort Worth, Texas 76102 817.332.9477 Fax 817.332.9487

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[@RPGADesignGroupInc](https://www.instagram.com/RPGADesignGroupInc)



**LEGEND**

	RENOVATION - UNIT B25
	MAKE-READY - UNIT B29 & B30

01 **SITE PLAN BRAILSFORD COMPLEX B**  
SCALE: 1"=30'-0"

DRAWN BY: K.R.G.  
 CHECKED BY: D.P.H.  
 DATE: 11.13.2024  
 ISSUED FOR PERMIT: 11.13.2024  
 ISSUE FOR PRICING: 11.13.2024  
 ISSUE FOR CONSTRUCTION: XX.XX.2024  
 REVISIONS: \_\_\_\_\_

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**RPGA DESIGN GROUP, INC.**  
 Architecture Space Planning Interiors  
 1530 Frio Grande Ave. Fort Worth, Texas 76102 817.332.9477 Fax 817.332.9487

**ABILENE HOUSING AUTHORITY**  
 UNIT RENOVATIONS AT  
 BRAILSFORD APARTMENTS "B"  
 ABILENE, TEXAS



*Richard P. Garza*  
 11.13.2024

PROJECT NO. 2024-009

SHEET NO. A-1.01B

- NOTE: 001 REFER TO "INDOOR MOLD REMOVAL PROTOCOL REPORT" AND FOLLOW INSTRUCTIONS FROM REPORT TO RESOLVE THIS ISSUE.
- NOTE: 002 ALL UNITS MUST HAVE LIGHT SWITCHES, OUTLETS & MECHANICAL CONTROLS IN ACCESSIBLE LOCATIONS THAT COMPLY WITH TAS, UFAS, ANSI & FAIR HOUSING GUIDELINES.
- NOTE: 003 REPLACE ALL BATHROOM ACCESSORIES AND FIXTURES PER SPECIFICATIONS.
- NOTE: 004 REPLACE ALL APPLIANCES, PLUMBING FIXTURES, CABINETS, COUNTERTOPS AND DOOR HINGES/HANDLES PER SPECIFICATIONS.
- NOTE: 005 REPLACE ALL CEILINGS WITH NEW GYPSUM BD. IN THE ENTIRE APARTMENT UNIT. TAPE, BED AND PAINT.
- NOTE: 006 REPLACE AND/OR INSTALL CEILING FANS AT ALL BEDROOMS AND LIVING ROOM SPACES.
- NOTE: 007 REPLACE ALL LIGHT FIXTURES PER SPECIFICATIONS.
- NOTE: 008 REPLACE ALL LIGHT SWITCHES, OUTLETS/PLUGS AND THEIR COVER PLATES PER SPECIFICATIONS.
- NOTE: 009 REPLACE ALL DOOR KNOBS PER SPECIFICATIONS.

\*\*\* VERIFY ALL DIMENSIONS ON SITE PRIOR TO INITIATE ANY WORK \*\*\*

LIGHTING LEGEND	
KEY	DESCRIPTION
	UF1 24"x13" LED SATIN NICKEL FLUSH MOUNT LIGHT
	UF2 12" LED SATIN NICKEL FLUSH MOUNT LIGHT
	UF3 24" LINEAR LIGHT LED BATH VANITY FIXTURE
	UF4 52" CEILING FAN WITH LIGHT
	UF5 6" CANNED LIGHT TOW LED RETROFIT BULB
	EX-V EXHAUST VENT WITH LIGHT

\*\*\* REFER SPECS FOR FIXTURE DETAILS \*\*\*  
 \*\*\* GENERAL CONTRACTOR TO FIELD VERIFY EXISTING LOCATION USE EXISTING WIRE & SWITCH LOCATIONS \*\*\*

**DEMOLITION NOTES BY SYMBOL (X)**

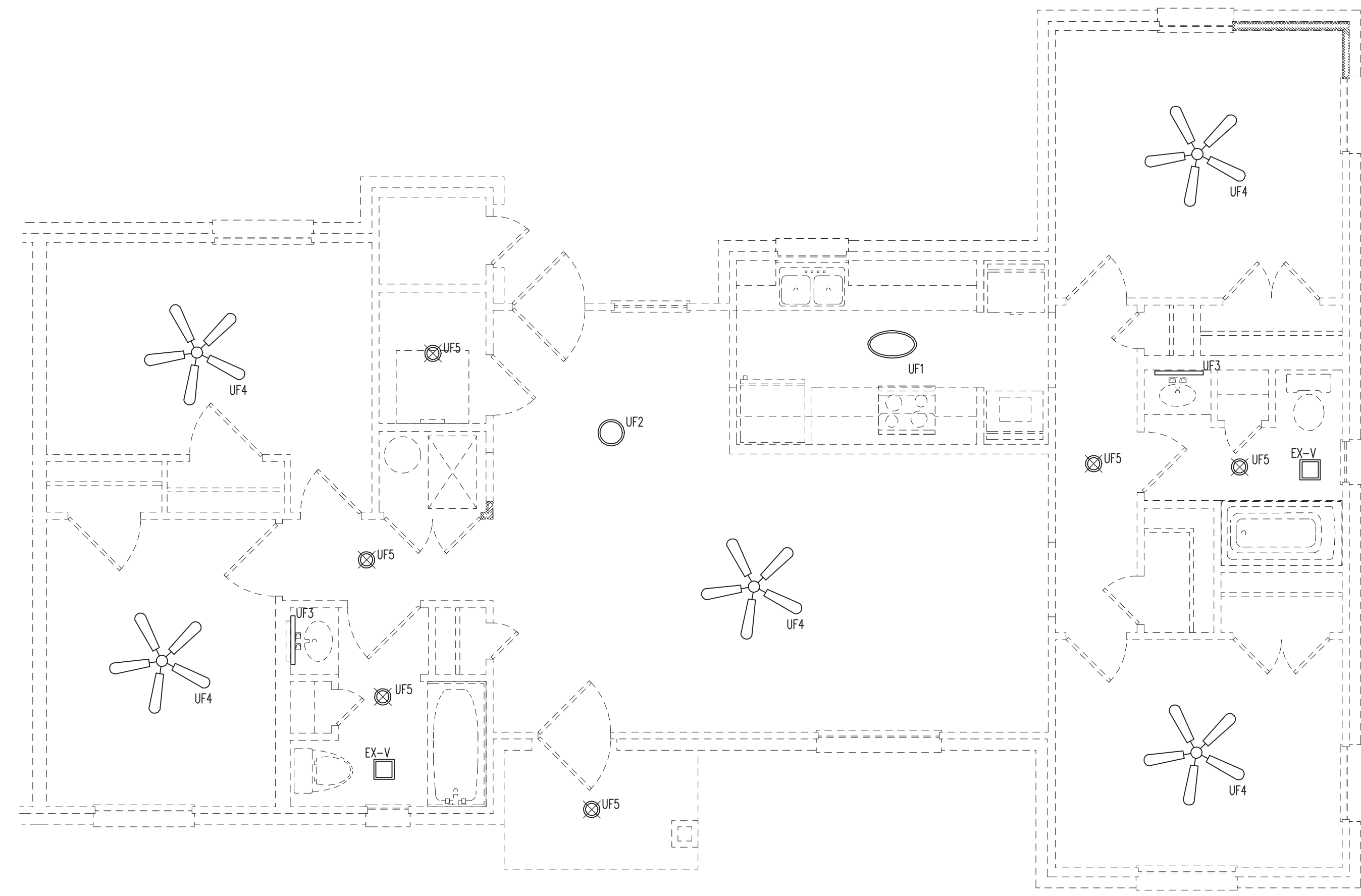
- A. DEMOLISH ALL GYPSUM BOARD AT CEILING
- B. REMOVE DRYWALL AT INTERIOR WALLS
- C. REMOVE CABINETS AND PLUMBING FIXTURES
- D. REMOVE ALL FINISHES

**NEW CONSTRUCTION NOTES BY SYMBOL (X)**

- 1. INSTALL NEW CEILING
- 2. INSTALL NEW DRYWALL
- 3. INSTALL NEW PLUMBING FIXTURES
- 4. INSTALL NEW CABINETS
- 5. INSTALL NEW FINISHES
- 6. INSTALL NEW BATHROOM ACCESSORIES PER SPECS.
- 7. INSTALL NEW LIGHTING FIXTURES PER SPECS.
- 8. INSTALL NEW CEILING FAN PER SPECS.
- 9. INSTALL NEW APPLIANCES.

**LEGEND**

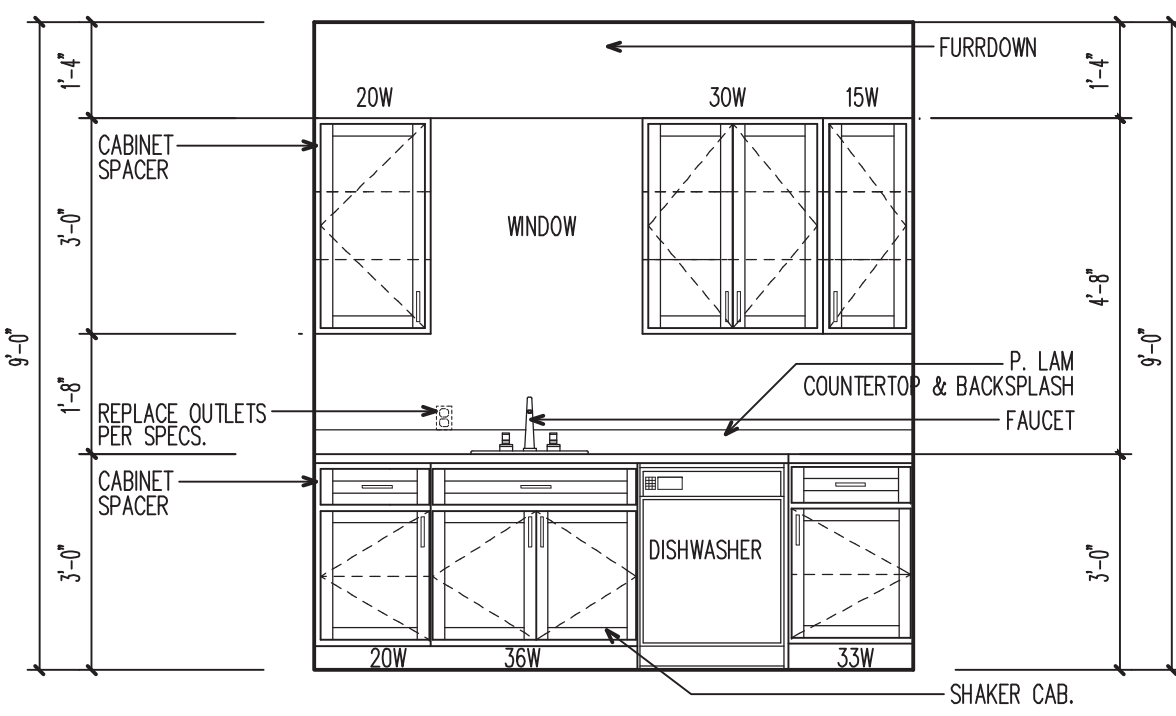
- WALLS TO REMAIN
- TO BE DEMOLISHED



**01 REFLECTED CEILING PLAN**

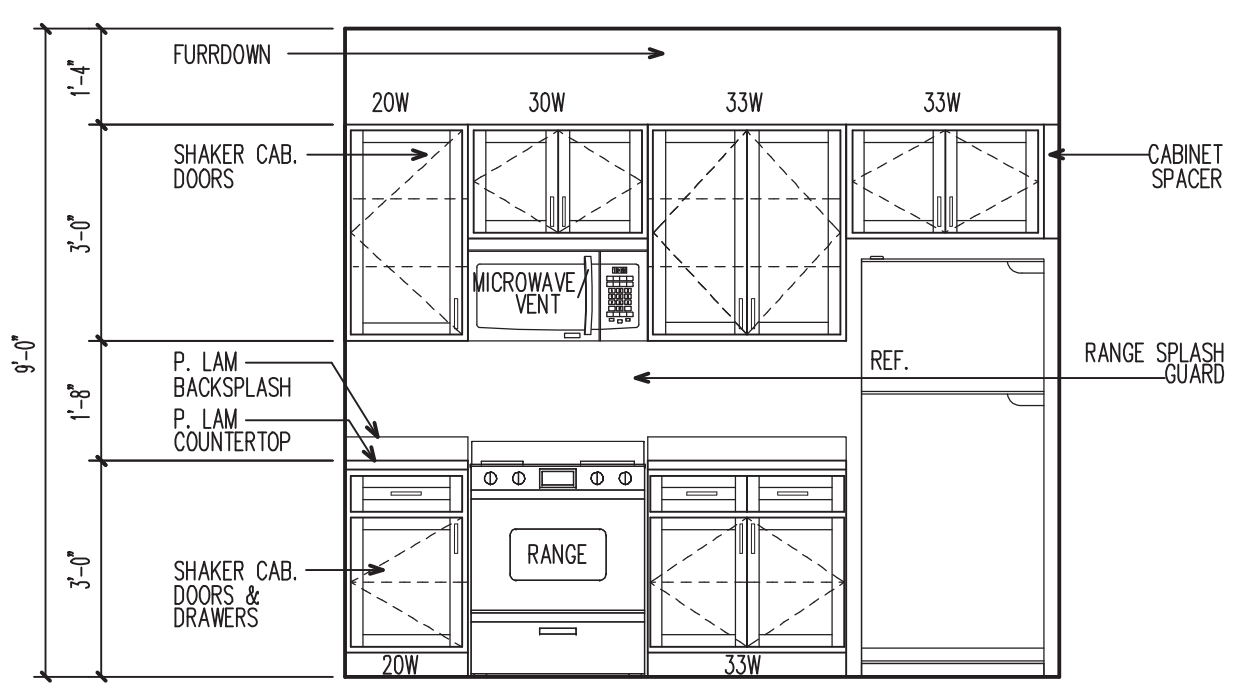
SCALE: 1/4" = 1'-0"

UNIT B25



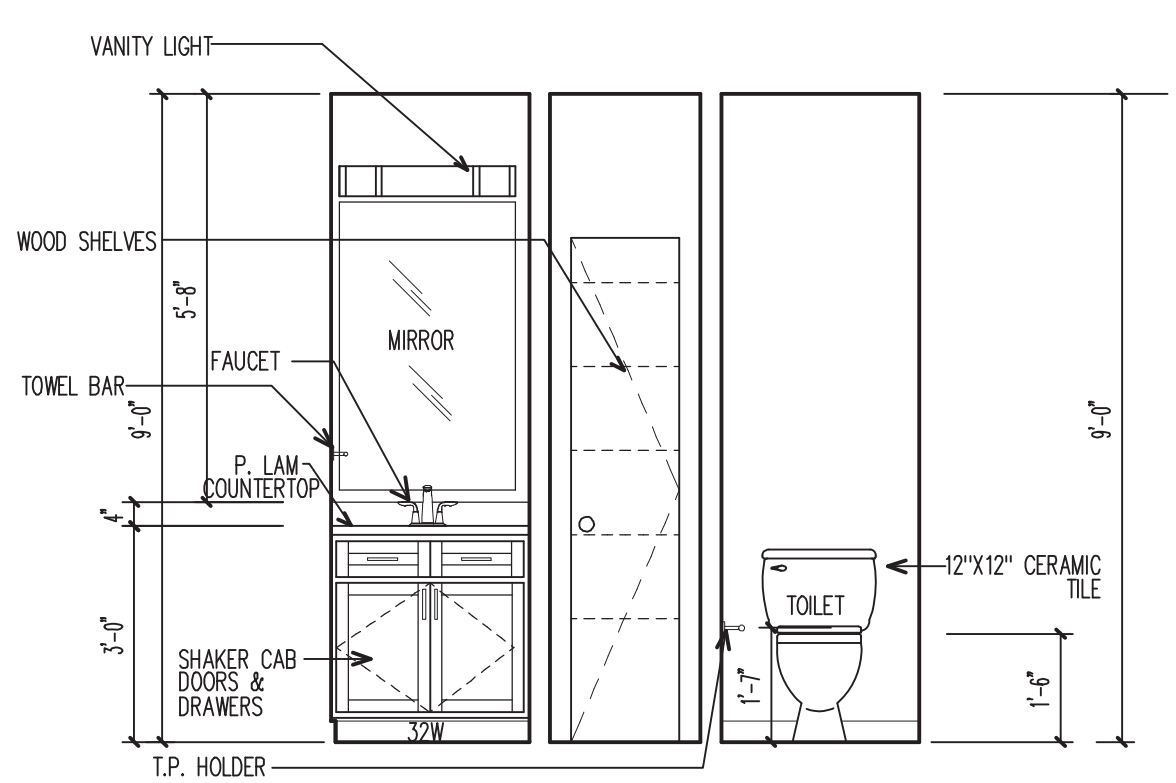
**03 KITCHEN ELEV. @ SINK**

SCALE: 3/8" = 1'-0"



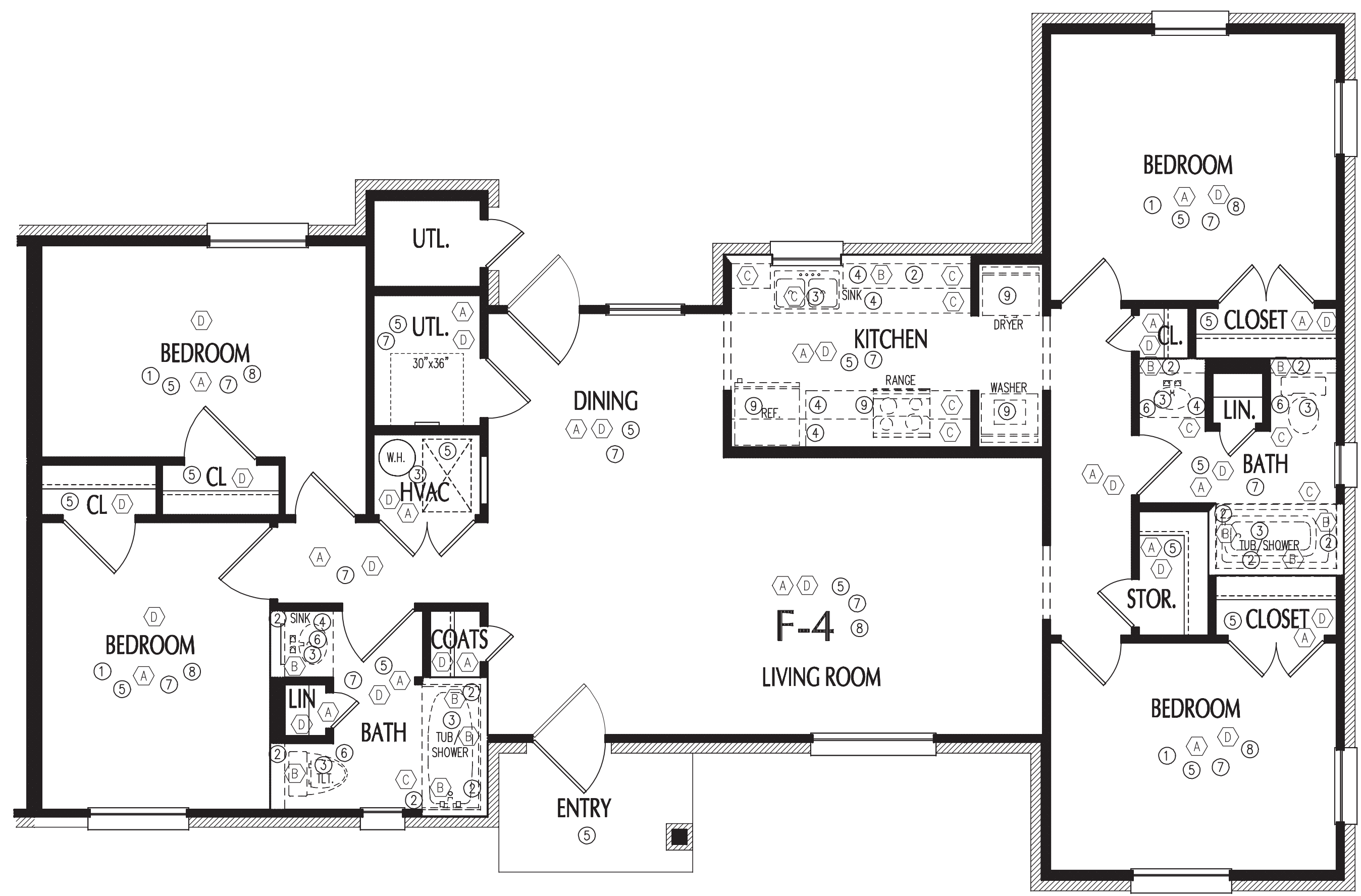
**04 KITCHEN ELEV. @ RANGE/REF.**

SCALE: 3/8" = 1'-0"



**05 BATH ELEV. (TYP.)**

SCALE: 3/8" = 1'-0"



**02 FLOOR PLAN "F4" - RENOVATION**

SCALE: 1/4" = 1'-0"

UNIT B25

DRAWN BY: K.R.G.  
 CHECKED BY: R.P.G.  
 DATE: 11.13.2024  
 ISSUED FOR PERMIT: 11.13.2024  
 ISSUE FOR PRICING: 11.13.2024  
 ISSUE FOR CONSTRUCTION: XX.XX.2024  
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ABILENE HOUSING AUTHORITY  
 UNIT RENOVATIONS AT  
 BRAILSFORD APARTMENTS "B"  
 ABILENE, TEXAS



11.08.2024

PROJECT NO. 2024-009  
 SHEET NO. A-2.01B

UNIT PLAN

DRAWN BY: **K.R.G.**  
 CHECKED BY: **R.P.G.**  
 DATE: **11.13.2024**  
 ISSUED FOR PERMIT: **11.13.2024**  
 ISSUE FOR PRICING: **11.13.2024**  
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ABILENE HOUSING AUTHORITY  
 UNIT RENOVATIONS AT  
 BRAILSFORD APARTMENTS "B"  
 ABILENE, TEXAS



PROJECT NO. **2024-009**  
 SHEET NO. **A-2.02B**

NOTE: 001  
 CONTRACTOR IS RESPONSIBLE TO PERFORM PHYSICAL INSPECTION FOR EACH UNIT IN ORDER TO ACCURATELY PRICE ALL WORK TO BE DONE.

NOTE: 002  
 REFER TO "INDOOR MOLD REMOVAL PROTOCOL REPORT" AND FOLLOW INSTRUCTIONS FROM REPORT TO RESOLVE THIS ISSUE IF MOLD IS FOUND.

NOTE: 003  
 ALL UNITS MUST HAVE LIGHT SWITCHES, OUTLETS & MECHANICAL CONTROLS IN ACCESSIBLE LOCATIONS THAT COMPLY WITH TAS, UFAS, ANSI & FAIR HOUSING GUIDELINES.

\*\*\* VERIFY ALL DIMENSIONS ON SITE PRIOR TO INITIATE ANY WORK \*\*\*

LIGHTING LEGEND	
KEY	DESCRIPTION
	UF1 FLUSH MOUNT LIGHT
	UF2 12" FLUSH MOUNT LIGHT
	UF3 BATH VANITY FIXTURE
	UF4 52" CEILING FAN WITH LIGHT
	UF5 6" CANNED LIGHT
	EX-V EXHAUST VENT WITH LIGHT

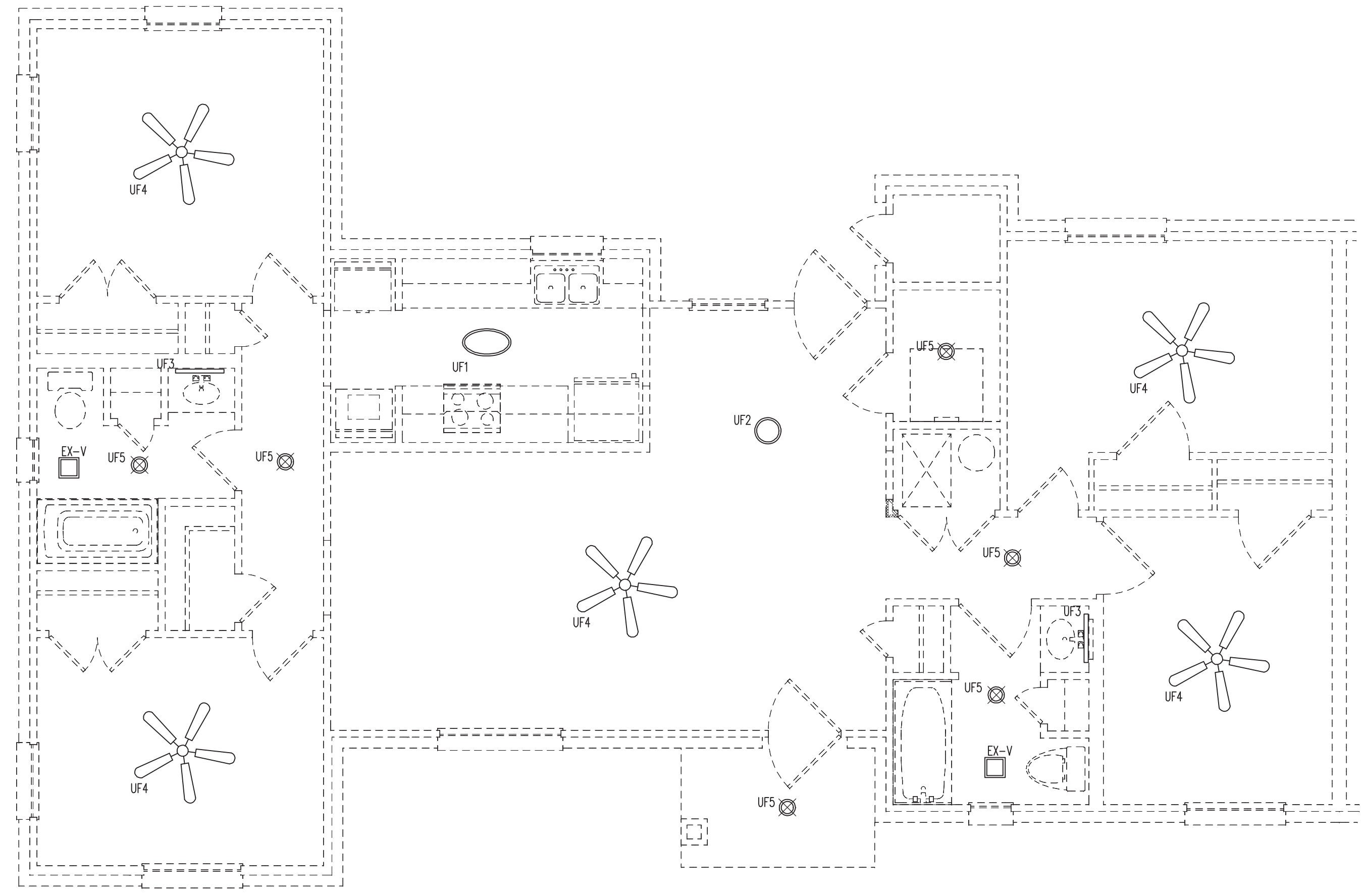
\*\* REFER SPECS FOR FIXTURE DETAILS \*\*  
 \*\*\* GENERAL CONTRACTOR TO FIELD VERIFY EXISTING LOCATION USE EXISTING WIRE & SWITCH LOCATIONS \*\*\*

**MAKE-READY NOTES**

1. PAINT CEILING (PATCH/REPAIR WHERE NEEDED.)
2. PAINT ALL WALLS (PATCH/REPAIR WHERE NEEDED.)
3. CLEAN ALL PLUMBING FIXTURES
4. CLEAN ALL CABINETS.
5. CLEAN ALL CEILING FANS/LIGHT FIXTURES.
6. ENSURE ALL CEILING FANS WORK.
7. ENSURE ALL LIGHT FIXTURES ARE IN WORKING ORDER.
8. REPLACE LIGHT BULBS THAT NEED REPLACEMENT.
9. CLEAN FLOOR/ VACUUM CARPETS.
10. CLEAN ALL BASEBOARDS.
11. ENSURE ALL SWITCHES/OUTLETS/PLUGS HAVE FACEPLATE COVERS.
12. ENSURE ALL DOOR HANDLES ARE IN WORKING ORDER.
13. ENSURE ALL BATHROOM FIXTURES/ACCESSORIES ARE IN WORKING ORDER.

**LEGEND**

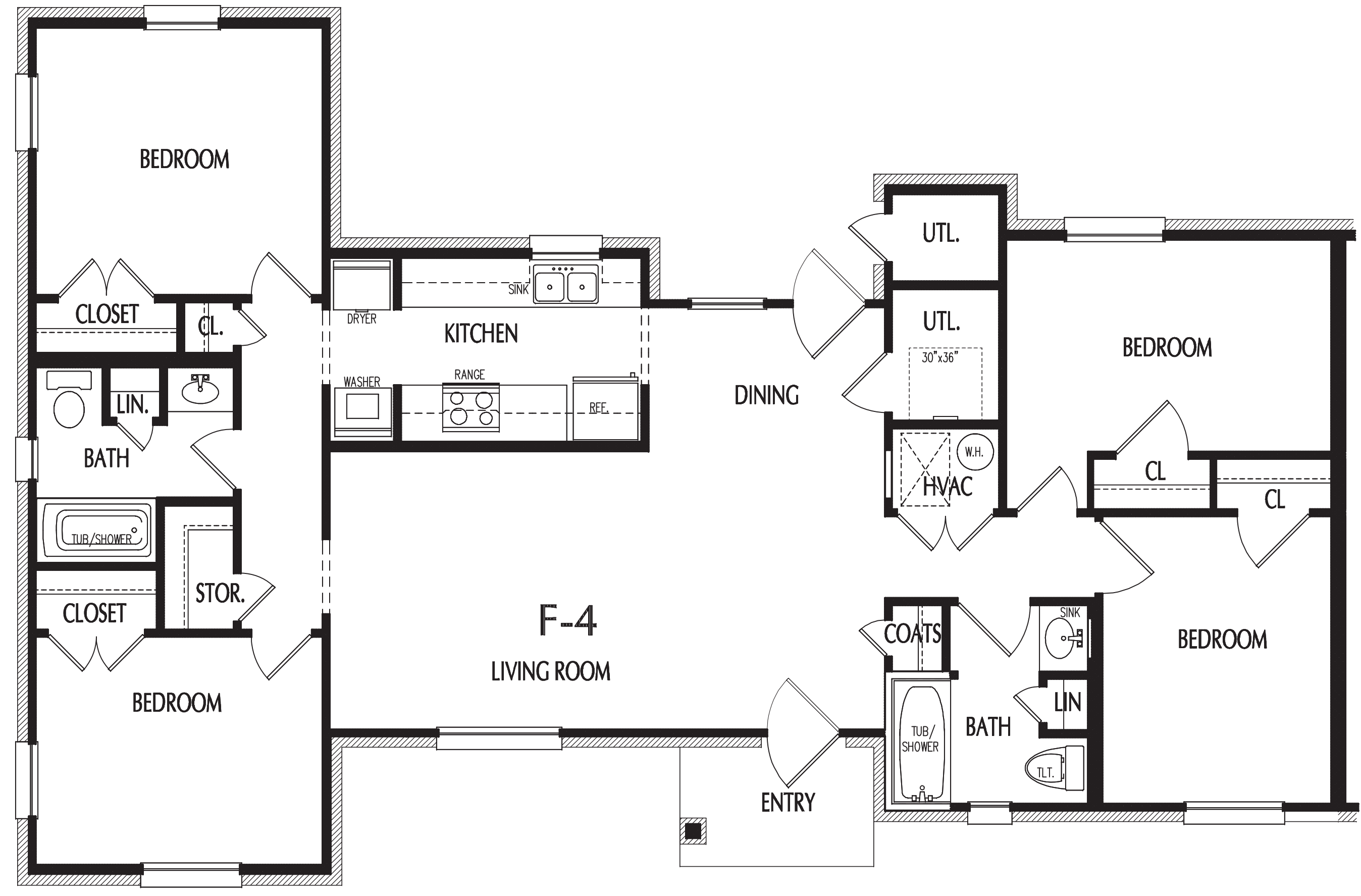
WALLS TO REMAIN



**01 REFLECTED CEILING PLAN**

SCALE: 1/4" = 1'-0"

UNITS B29 & B30



**02 FLOOR PLAN "F4" - MAKE-READY**

SCALE: 1/4" = 1'-0"

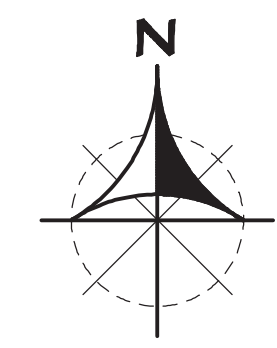
UNITS B29 & B30

UNIT PLAN

DRAWN BY: K.R.G.  
 CHECKED BY: D.P.H.  
 DATE: 11.13.2024  
 ISSUED FOR PERMIT: 11.13.2024  
 ISSUE FOR PRICING: 11.13.2024  
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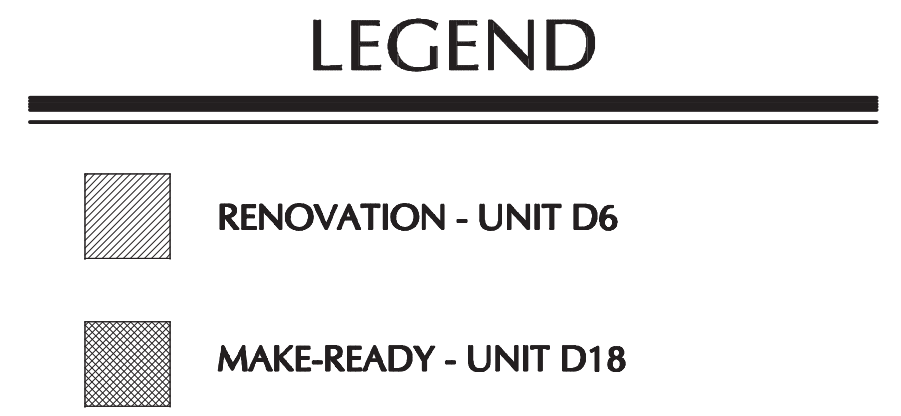
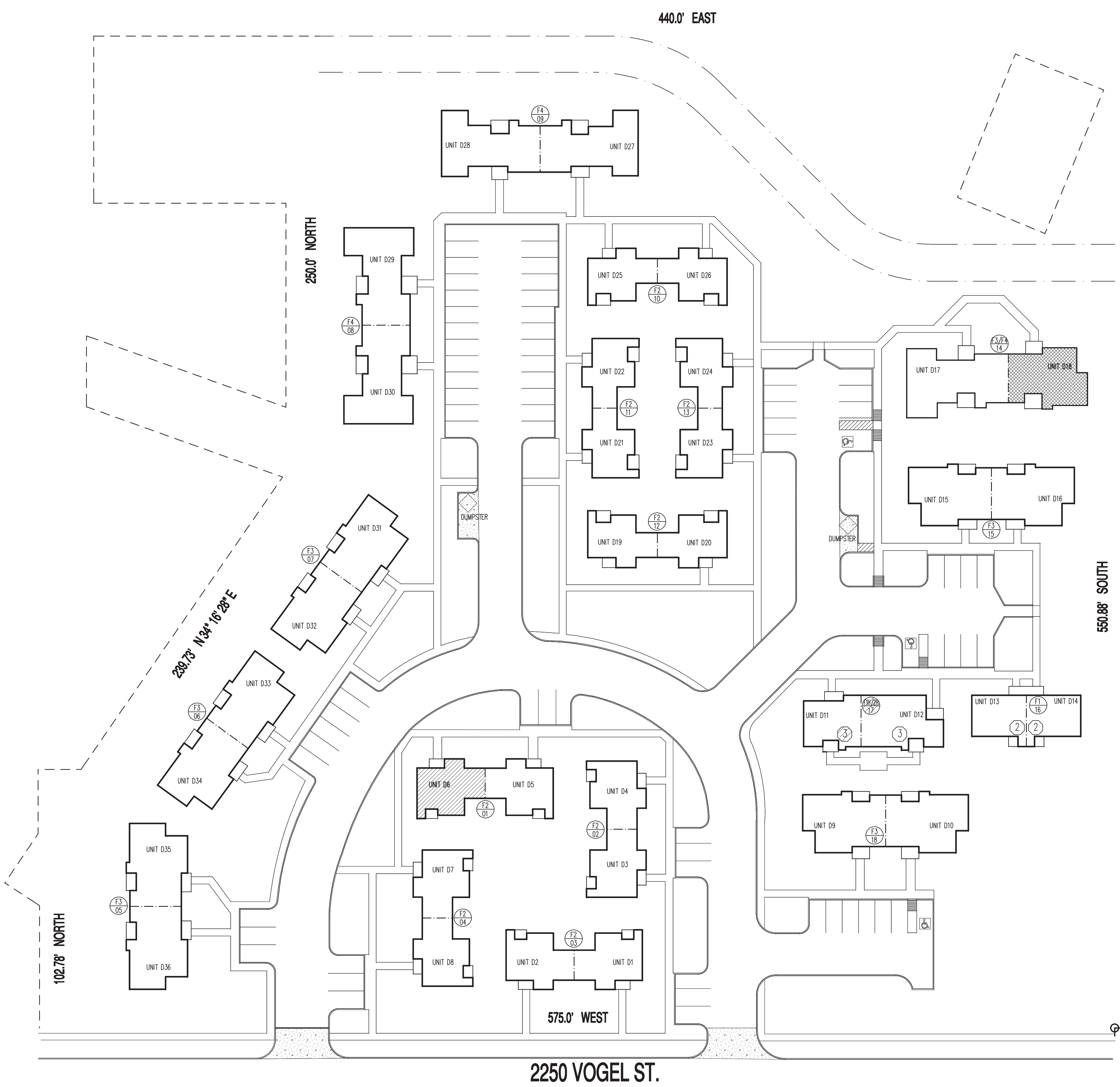
**RPGA**  
 DESIGN GROUP, INC.  
 Architecture SpacePlanning Interiors  
 1500 Rio Grande Ave. Fort Worth, Texas 76102 817.392.9477 Fax 817.392.9487

**ABILENE HOUSING AUTHORITY**  
 UNIT RENOVATIONS AT  
 BRAILSFORD APARTMENTS "D"  
 ABILENE, TEXAS



PROJECT NO.  
 2024-009

SHEET NO.  
 A-1.01D



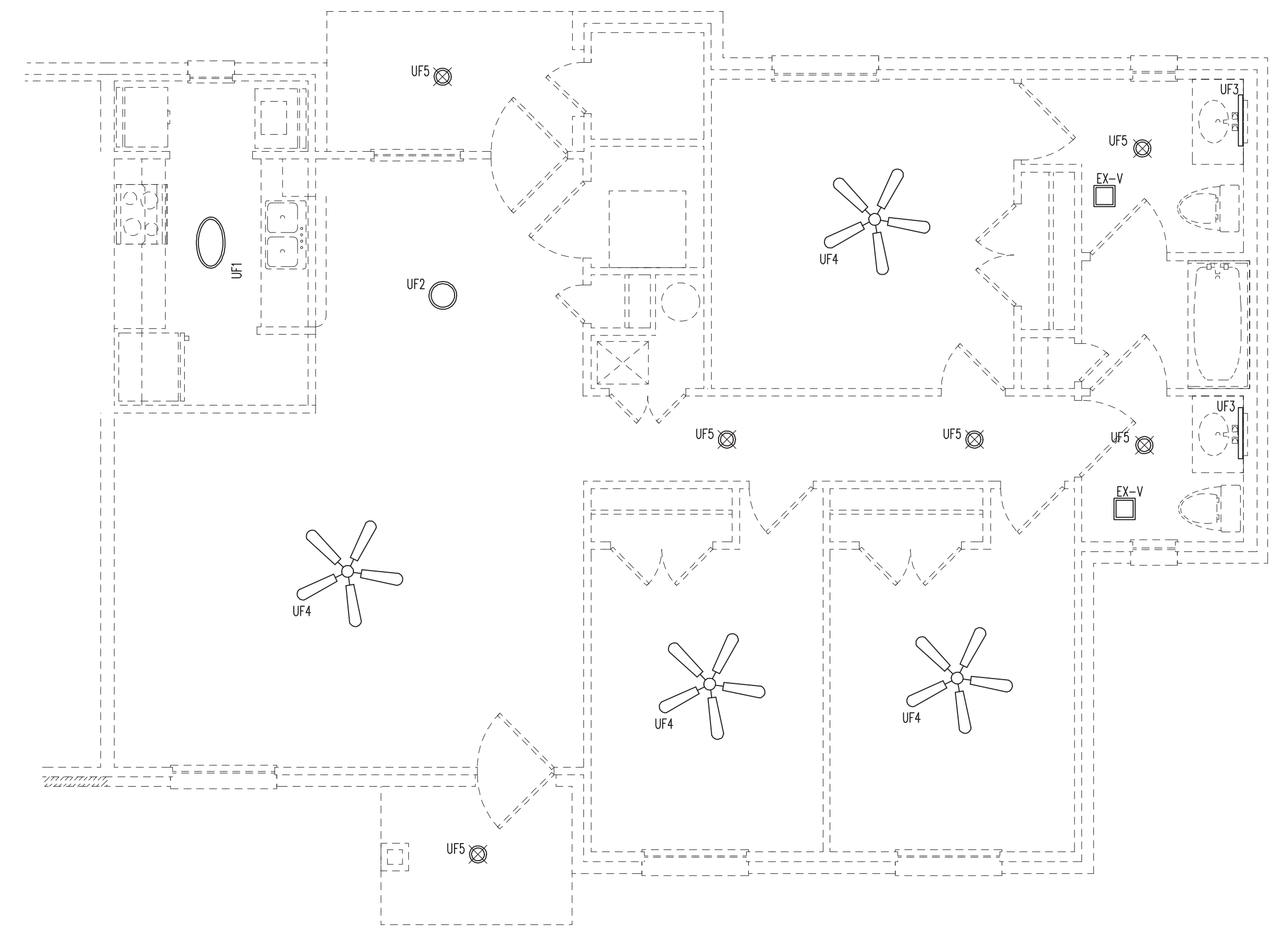


NOTE: 001  
CONTRACTOR IS RESPONSIBLE TO PERFORM PHYSICAL INSPECTION FOR EACH UNIT IN ORDER TO ACCURATELY PRICE ALL WORK TO BE DONE.

NOTE: 002  
REFER TO "INDOOR MOLD REMOVAL PROTOCOL REPORT" AND FOLLOW INSTRUCTIONS FROM REPORT TO RESOLVE THIS ISSUE IF MOLD IS FOUND.

NOTE: 003  
ALL UNITS MUST HAVE LIGHT SWITCHES, OUTLETS & MECHANICAL CONTROLS IN ACCESSIBLE LOCATIONS THAT COMPLY WITH TAS, UFAS, ANSI & FAIR HOUSING GUIDELINES.

\*\*\* VERIFY ALL DIMENSIONS ON SITE PRIOR TO INITIATE ANY WORK \*\*\*



01 REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0" UNITS TYPE F3

LIGHTING LEGEND	
KEY	DESCRIPTION
	UF1 FLUSH MOUNT LIGHT
	UF2 12" FLUSH MOUNT LIGHT
	UF3 BATH VANITY FIXTURE
	UF4 52" CEILING FAN WITH LIGHT
	UF5 6" CANNED LIGHT
	EX-V EXHAUST VENT WITH LIGHT

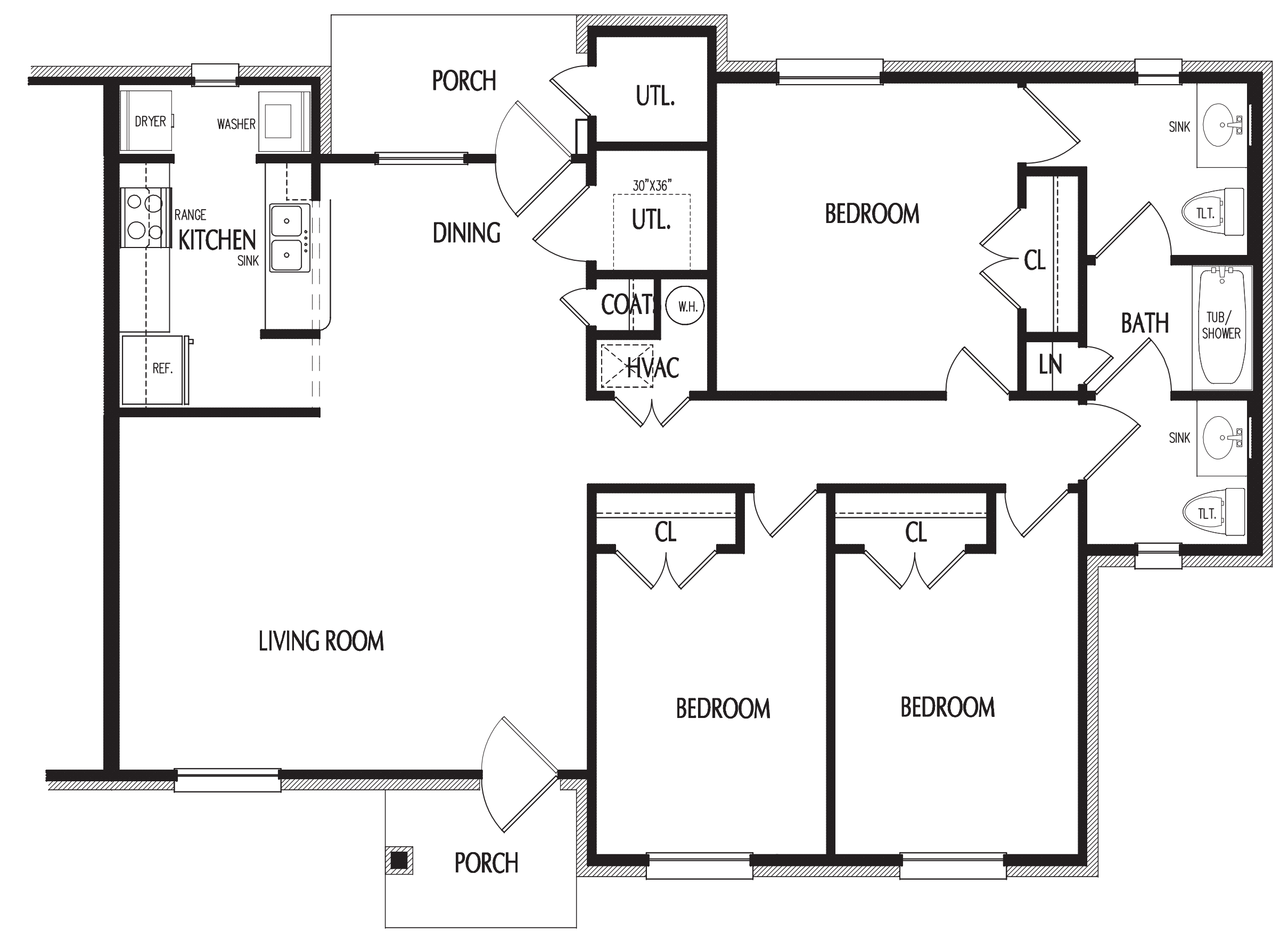
\*\* REFER SPECS FOR FIXTURE DETAILS \*\*  
\*\*\* GENERAL CONTRACTOR TO FIELD VERIFY EXISTING LOCATION USE EXISTING WIRE & SWITCH LOCATIONS \*\*\*

**MAKE-READY NOTES**

1. PAINT CEILING (PATCH/REPAIR WHERE NEEDED.)
2. PAINT ALL WALLS (PATCH/REPAIR WHERE NEEDED.)
3. CLEAN ALL PLUMBING FIXTURES
4. CLEAN ALL CABINETS.
5. CLEAN ALL CEILING FANS/LIGHT FIXTURES.
6. ENSURE ALL CEILING FANS WORK.
7. ENSURE ALL LIGHT FIXTURES ARE IN WORKING ORDER.
8. REPLACE LIGHT BULBS THAT NEED REPLACEMENT.
9. CLEAN FLOOR/ VACUUM CARPETS.
10. CLEAN ALL BASEBOARDS.
11. ENSURE ALL SWITCHES/OUTLETS/PLUGS HAVE FACEPLATE COVERS.
12. ENSURE ALL DOOR HANDLES ARE IN WORKING ORDER.
13. ENSURE ALL BATHROOM FIXTURES/ACCESSORIES ARE IN WORKING ORDER.

**LEGEND**

WALLS TO REMAIN



02 FLOOR PLAN "F3" - MAKE-READY  
SCALE: 1/4" = 1'-0" UNITS TYPE F3

DRAWN BY: K.R.G.  
CHECKED BY: R.P.G.  
DATE: 11.13.2024  
ISSUED FOR PERMIT: 11.13.2024  
ISSUE FOR PRICING: 11.13.2024  
ISSUE FOR CONSTRUCTION: XX.XX.2024  
REVISIONS:

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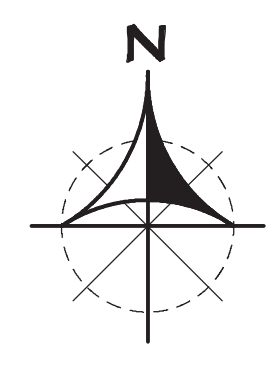
ABILENE HOUSING AUTHORITY  
UNIT RENOVATIONS AT  
BRAILSFORD APARTMENTS "D"  
ABILENE, TEXAS



*Richard P. Gray*

PROJECT NO. 2024-009  
SHEET NO. A-2.02D

UNIT PLAN



DRAWN BY: K.R.G.  
 CHECKED BY: D.P.H.  
 DATE: 11.13.2024  
 ISSUED FOR PERMIT: 11.13.2024  
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 1530 Rio Grande Ave. Fort Worth, Texas 76104 817.392.9477 Fax 817.392.9487



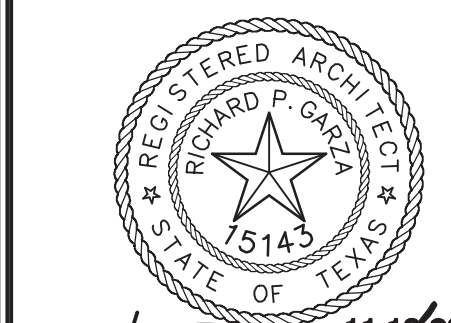
ABILENE HOUSING AUTHORITY  
 UNIT RENOVATIONS AT  
 EARL WILLIAMS APARTMENTS  
 ABILENE, TEXAS

**LEGEND**

MAKE-READY - UNITS 809-A, 4350-B, 4382-A & 4373-A

01 **SITE PLAN EARL WILLIAMS APARTMENTS**  
 SCALE: 1"=40'-0"

4398 N. 7TH ABILENE, TX. 79603



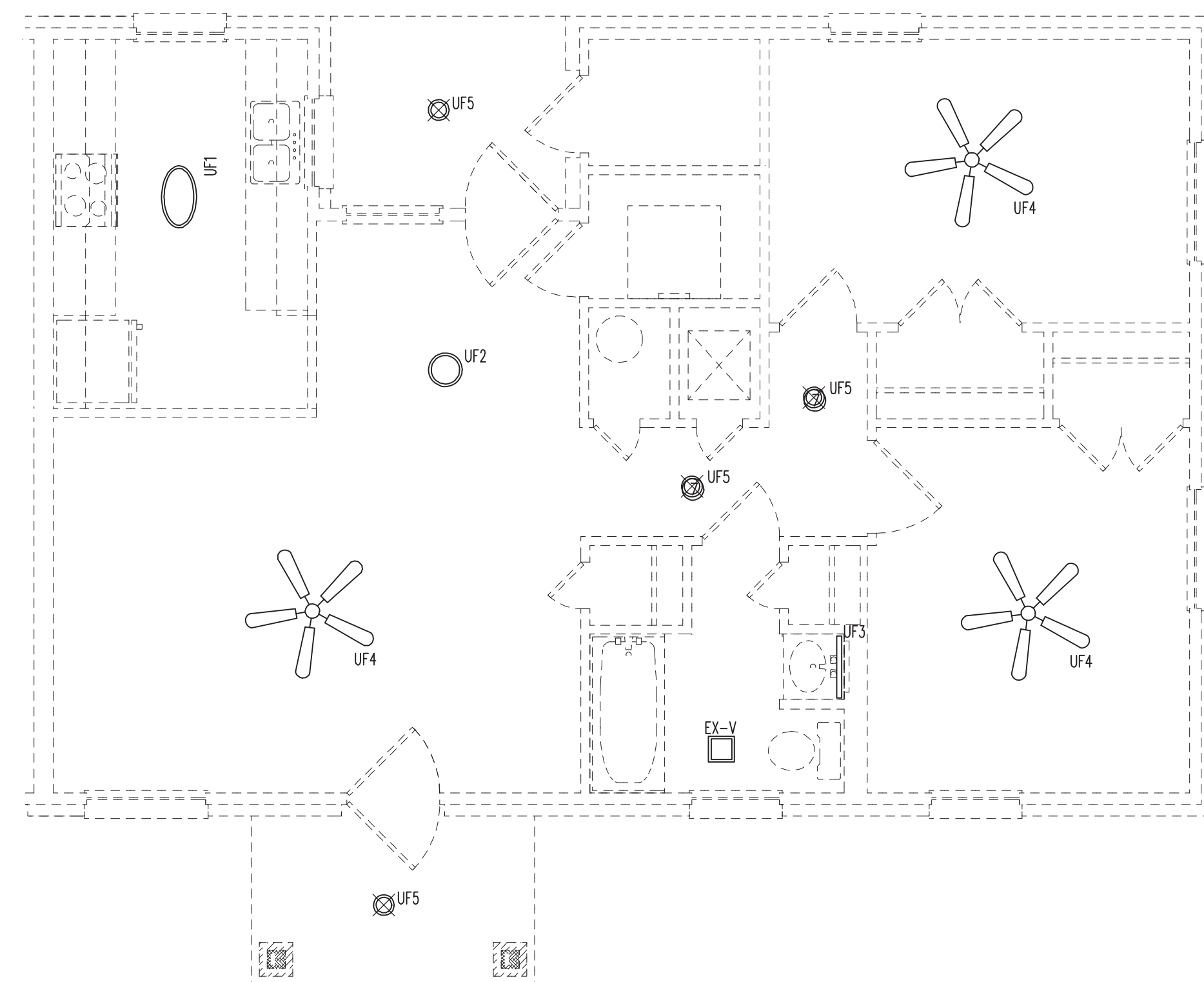
11.13.24  
*Richard P. Garza*

PROJECT NO.  
 2024-009

SHEET NO.  
**A-1.01E**



UNIT PLAN






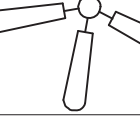


**01 REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0" 4382 A STATE ST.

NOTE - 001  
 CONTRACTOR IS RESPONSIBLE TO PERFORM PHYSICAL INSPECTION FOR EACH UNIT IN ORDER TO ACCURATELY PRICE ALL WORK TO BE DONE.

NOTE - 002  
 REFER TO "INDOOR MOLD REMOVAL PROTOCOL REPORT" AND FOLLOW INSTRUCTIONS FROM REPORT TO RESOLVE THIS ISSUE IF MOLD IS FOUND.

NOTE - 003  
 ALL UNITS MUST HAVE LIGHT SWITCHES, OUTLETS & MECHANICAL CONTROLS IN ACCESSIBLE LOCATIONS THAT COMPLY WITH TAS, UFAS, ANSI & FAIR HOUSING GUIDELINES.

\*\*\* VERIFY ALL DIMENSIONS ON SITE PRIOR TO INITIATE ANY WORK \*\*\*

KEY	DESCRIPTION
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	UF2 12" FLUSH MOUNT LIGHT
	UF3 BATH VANITY FIXTURE
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	UF5 6" CANNED LIGHT
	EX-V EXHAUST VENT WITH LIGHT

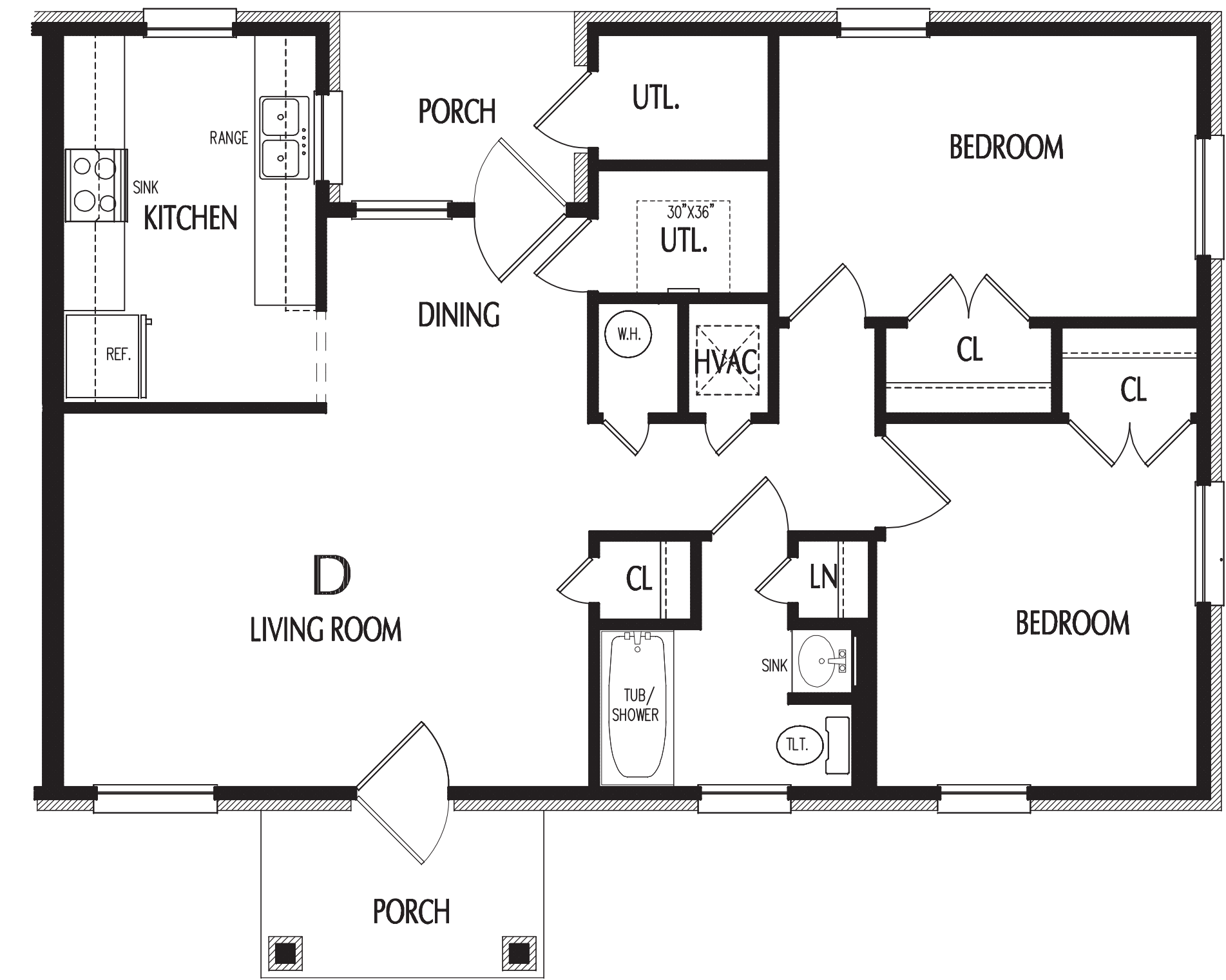
\*\* REFER SPECS FOR FIXTURE DETAILS \*\*  
 \*\*\* GENERAL CONTRACTOR TO FIELD VERIFY EXISTING LOCATION USE EXISTING WIRE & SWITCH LOCATIONS \*\*\*

**MAKE -READY NOTES**

1. PAINT CEILING (PATCH/REPAIR WHERE NEEDED.)
2. PAINT ALL WALLS (PATCH/REPAIR WHERE NEEDED.)
3. CLEAN ALL PLUMBING FIXTURES
4. CLEAN ALL CABINETS.
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11. ENSURE ALL SWITCHES/OUTLETS/PLUGS HAVE FACEPLATE COVERS.
12. ENSURE ALL DOOR HANDLES ARE IN WORKING ORDER.
13. ENSURE ALL BATHROOM FIXTURES/ACCESSORIES ARE IN WORKING ORDER.

**LEGEND**

	WALLS TO REMAIN
---	-----------------



**02 FLOOR PLAN TYPE "D"**  
 SCALE: 1/4" = 1'-0" 4382 A STATE ST.

DRAWN BY: **K.R.G.**  
 CHECKED BY: **R.P.G.**  
 DATE: **11.13.2024**  
 ISSUED FOR PERMIT: **11.13.2024**  
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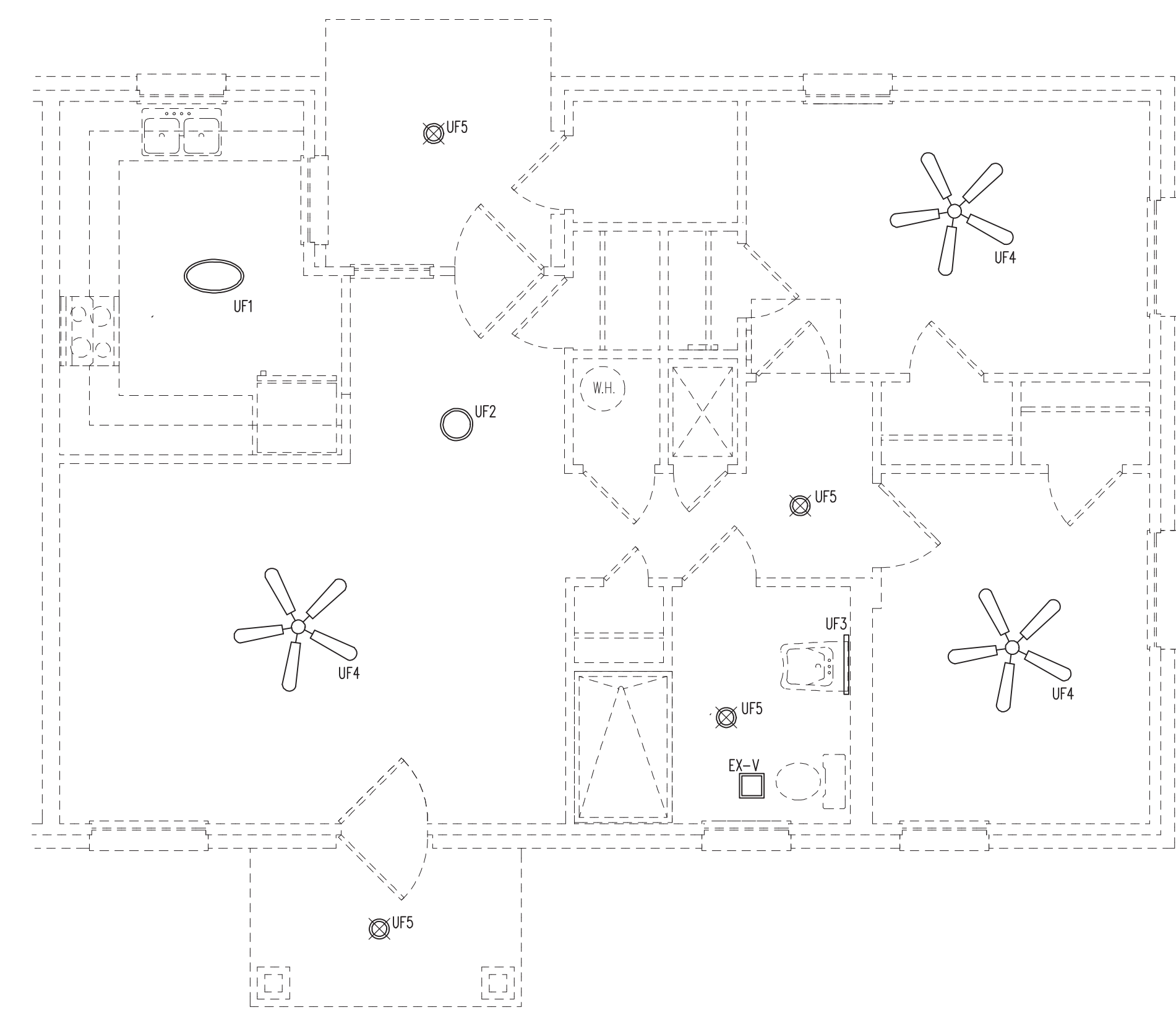
ABILENE HOUSING AUTHORITY  
 UNIT RENOVATIONS AT  
 EARL WILLIAMS APARTMENTS  
 ABILENE, TEXAS



PROJECT NO. **2024-009**

SHEET NO. **A-2.02E**

UNIT PLAN



**01 REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0" 4350 B CAPITOL AVENUE

NOTE: 001  
 CONTRACTOR IS RESPONSIBLE TO PERFORM PHYSICAL INSPECTION FOR EACH UNIT IN ORDER TO ACCURATELY PRICE ALL WORK TO BE DONE.

NOTE: 002  
 REFER TO "INDOOR MOLD REMOVAL PROTOCOL REPORT" AND FOLLOW INSTRUCTIONS FROM REPORT TO RESOLVE THIS ISSUE IF MOLD IS FOUND.

NOTE: 003  
 ALL UNITS MUST HAVE LIGHT SWITCHES, OUTLETS & MECHANICAL CONTROLS IN ACCESSIBLE LOCATIONS THAT COMPLY WITH TAS, UFAS, ANSI & FAIR HOUSING GUIDELINES.

\*\*\* VERIFY ALL DIMENSIONS ON SITE PRIOR TO INITIATE ANY WORK \*\*\*

LIGHTING LEGEND	
KEY	DESCRIPTION
	UF1 FLUSH MOUNT LIGHT
	UF2 12" FLUSH MOUNT LIGHT
	UF3 BATH VANITY FIXTURE
	UF4 52" CEILING FAN WITH LIGHT
	UF5 6" CANNED LIGHT
	EX-V EXHAUST VENT WITH LIGHT

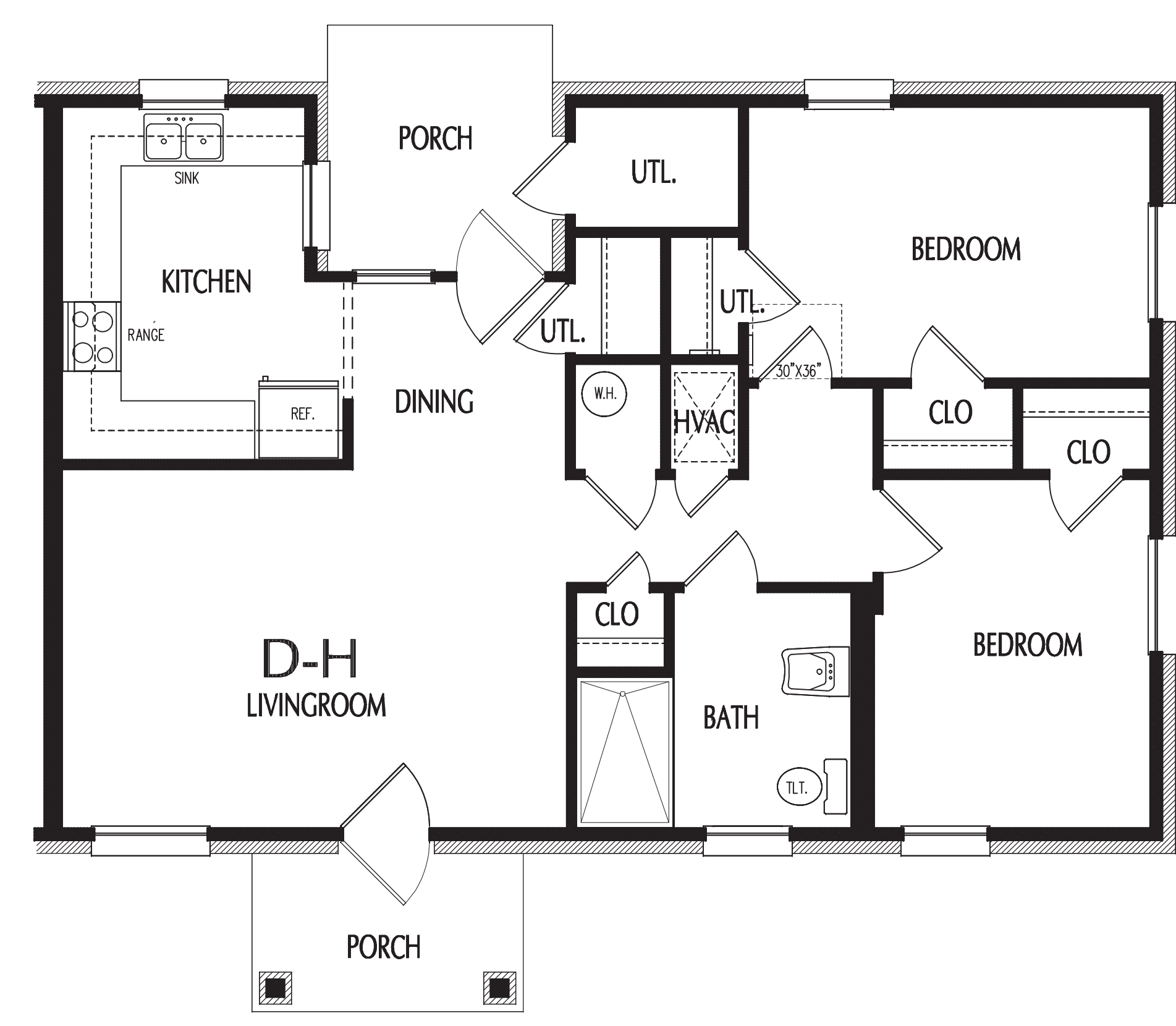
\*\*\* REFER SPECS FOR FIXTURE DETAILS \*\*\*  
 \*\*\* GENERAL CONTRACTOR TO FIELD VERIFY EXISTING LOCATION USE EXISTING WIRE & SWITCH LOCATIONS \*\*\*

**MAKE-READY NOTES**

1. PAINT CEILING (PATCH/REPAIR WHERE NEEDED.)
2. PAINT ALL WALLS (PATCH/REPAIR WHERE NEEDED.)
3. CLEAN ALL PLUMBING FIXTURES
4. CLEAN ALL CABINETS
5. CLEAN ALL CEILING FANS/LIGHT FIXTURES.
6. ENSURE ALL CEILING FANS WORK.
7. ENSURE ALL LIGHT FIXTURES ARE IN WORKING ORDER.
8. REPLACE LIGHT BULBS THAT NEED REPLACEMENT.
9. CLEAN FLOOR/ VACUUM CARPETS.
10. CLEAN ALL BASEBOARDS.
11. ENSURE ALL SWITCHES/OUTLETS/PLUGS HAVE FACEPLATE COVERS.
12. ENSURE ALL DOOR HANDLES ARE IN WORKING ORDER.
13. ENSURE ALL BATHROOM FIXTURES/ACCESSORIES ARE IN WORKING ORDER.

**LEGEND**

	WALLS TO REMAIN
--	-----------------



**02 FLOOR PLAN "DH" - MAKE-READY**  
 SCALE: 1/4" = 1'-0" 4350 B CAPITOL AVENUE

DRAWN BY: **K.R.G.**  
 CHECKED BY: **R.P.G.**  
 DATE: **11.13.2024**  
 ISSUED FOR PERMIT: **11.13.2024**  
 ISSUE FOR PRICING: **11.13.2024**  
 ISSUE FOR CONSTRUCTION: **XX.XX.2024**  
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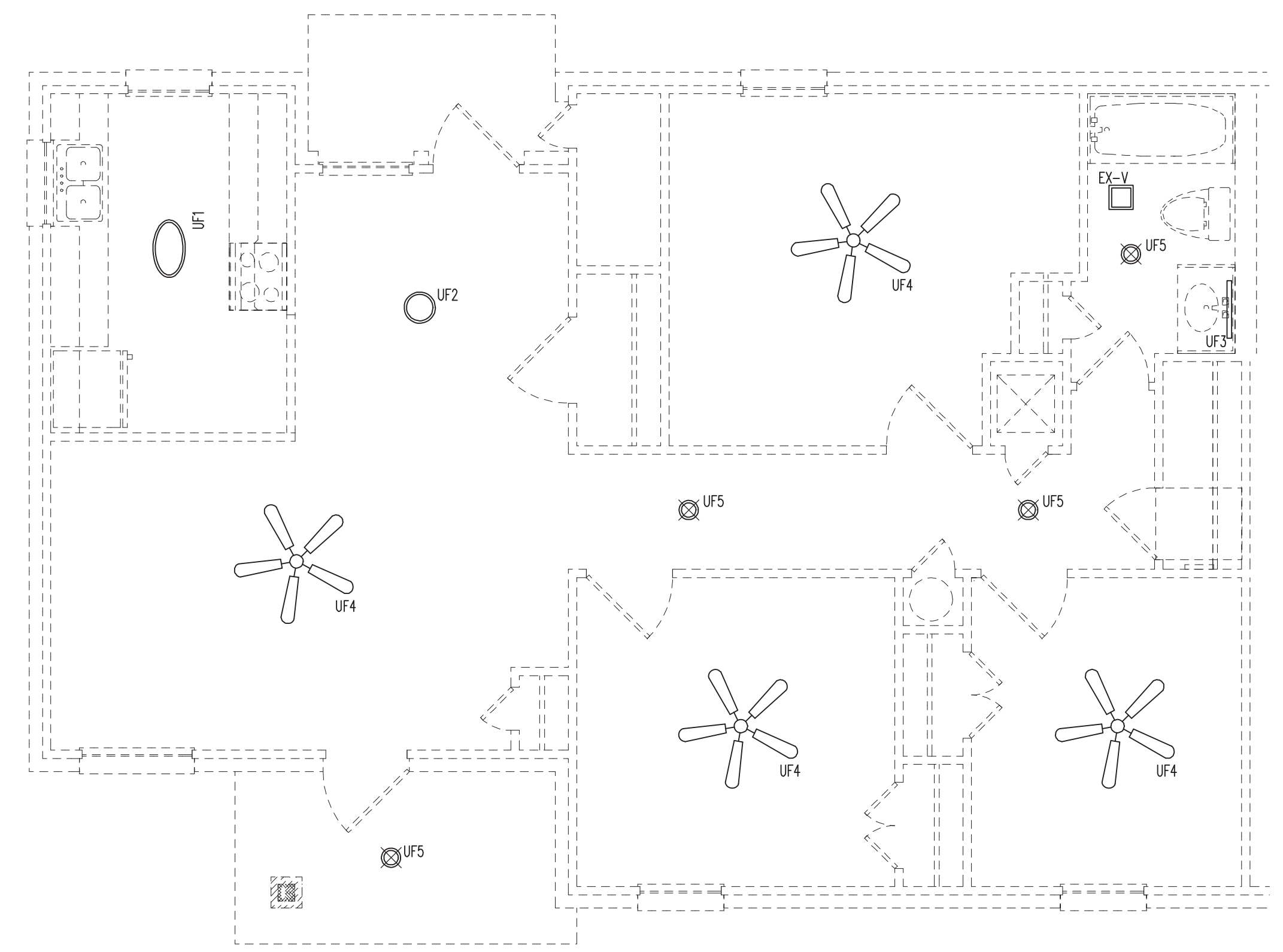
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ABILENE HOUSING AUTHORITY  
 UNIT RENOVATIONS AT  
 EARL WILLIAMS APARTMENTS  
 ABILENE, TEXAS



PROJECT NO. **2024-009**  
 SHEET NO. **A-2.03E**



**01 REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0" 809 A RIVER BEND ST.

NOTE: 001  
 CONTRACTOR IS RESPONSIBLE TO PERFORM PHYSICAL INSPECTION FOR EACH UNIT IN ORDER TO ACCURATELY PRICE ALL WORK TO BE DONE.

NOTE: 002  
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NOTE: 003  
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\*\*\* VERIFY ALL DIMENSIONS ON SITE PRIOR TO INITIATE ANY WORK \*\*\*

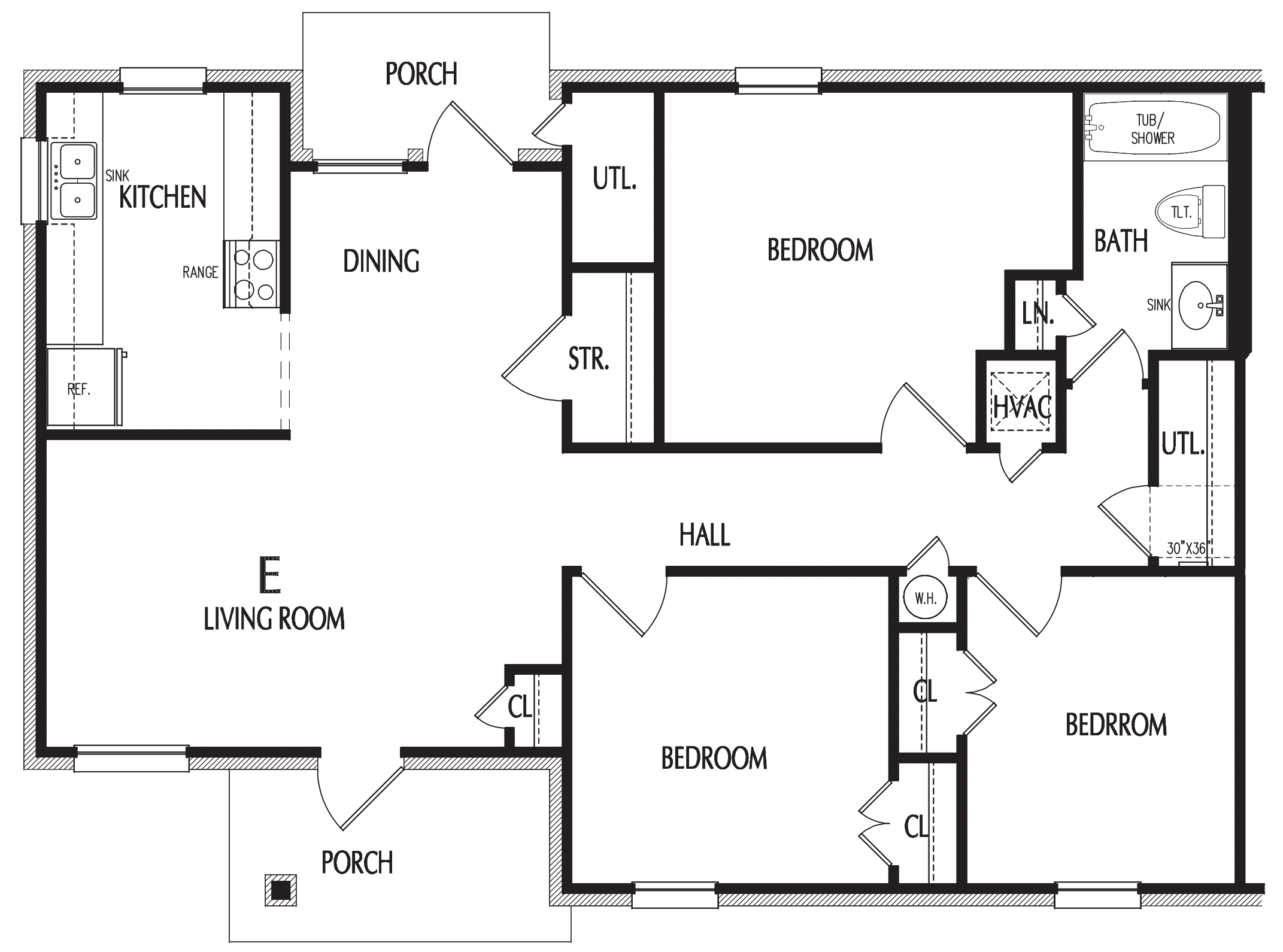
LIGHTING LEGEND		
KEY	DESCRIPTION	
	UF1	FLUSH MOUNT LIGHT
	UF2	12" FLUSH MOUNT LIGHT
	UF3	BATH VANITY FIXTURE
	UF4	52" CEILING FAN WITH LIGHT
	UF5	6" CANNED LIGHT
	EX-V	EXHAUST VENT WITH LIGHT

\*\* REFER SPECS FOR FIXTURE DETAILS \*\*  
 \*\*\* GENERAL CONTRACTOR TO FIELD VERIFY EXISTING LOCATION USE EXISTING WIRE & SWITCH LOCATIONS \*\*\*

**MAKE -READY NOTES**

1. PAINT CEILING (PATCH/REPAIR WHERE NEEDED.)
2. PAINT ALL WALLS (PATCH/REPAIR WHERE NEEDED.)
3. CLEAN ALL PLUMBING FIXTURES
4. CLEAN ALL CABINETS.
5. CLEAN ALL CEILING FANS/LIGHT FIXTURES.
6. ENSURE ALL CEILING FANS WORK.
7. ENSURE ALL LIGHT FIXTURES ARE IN WORKING ORDER.
8. REPLACE LIGHT BULBS THAT NEED REPLACEMENT.
9. CLEAN FLOOR/ VACUUM CARPETS.
10. CLEAN ALL BASEBOARDS.
11. ENSURE ALL SWITCHES/OUTLETS/PLUGS HAVE FACEPLATE COVERS.
12. ENSURE ALL DOOR HANDLES ARE IN WORKING ORDER.
13. ENSURE ALL BATHROOM FIXTURES/ACCESSORIES ARE IN WORKING ORDER.

LEGEND	
	WALLS TO REMAIN



**02 FLOOR PLAN TYPE "E" - MAKE-READY**  
 SCALE: 1/4" = 1'-0" 809 A RIVER BEND ST.

UNIT PLAN

DRAWN BY: K.R.G.  
 CHECKED BY: R.P.G.  
 DATE: 11.13.2024  
 ISSUED FOR PERMIT: 11.13.2024  
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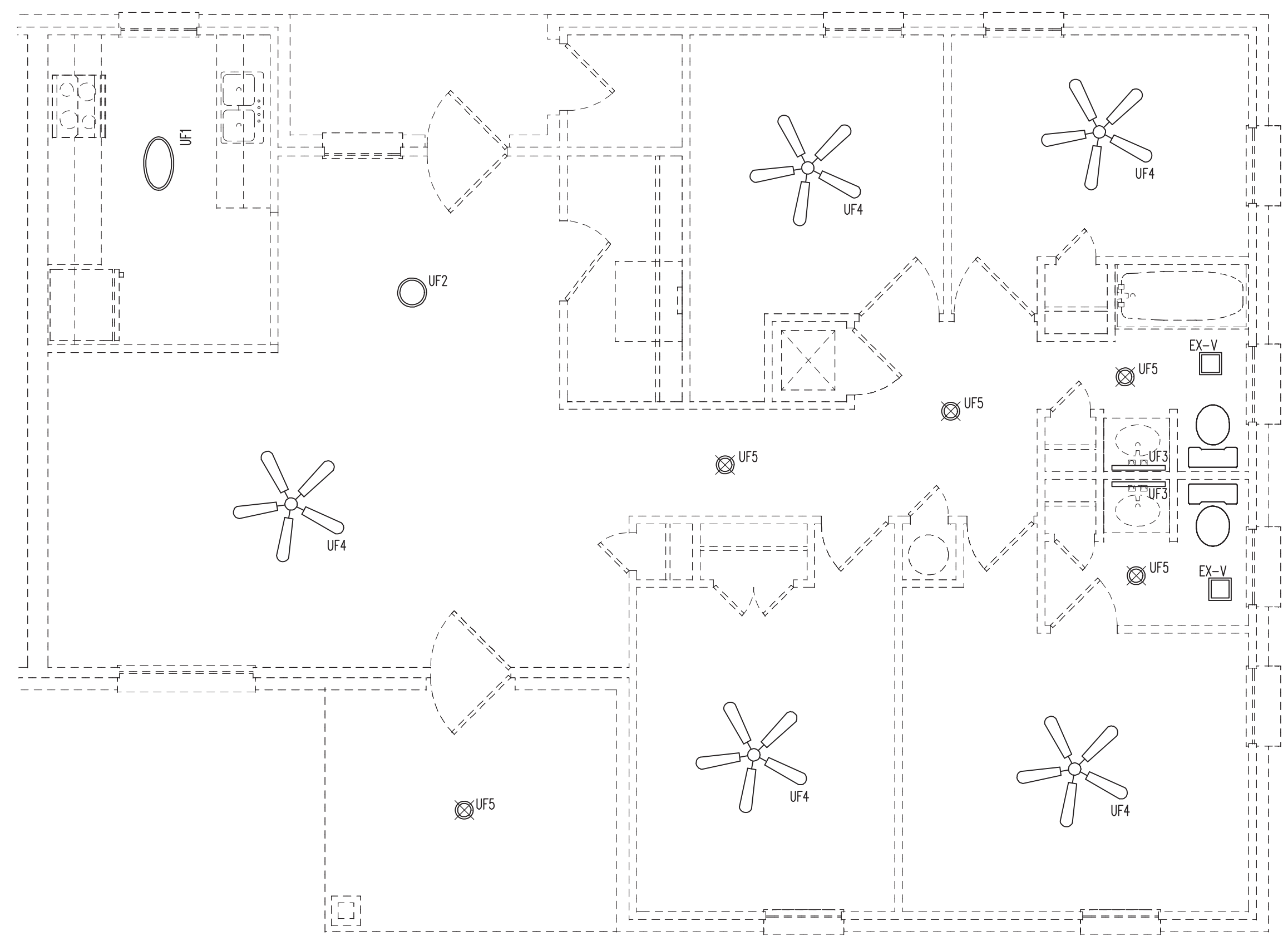
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 ABILENE, TEXAS



11.13.2024  
*Richard P. Cary*

PROJECT NO.  
 2024-009

SHEET NO.  
**A-2.04E**



**01 REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0" 4373 A STATE ST.

NOTE: 001  
 CONTRACTOR IS RESPONSIBLE TO PERFORM PHYSICAL INSPECTION FOR EACH UNIT IN ORDER TO ACCURATELY PRICE ALL WORK TO BE DONE.

NOTE: 002  
 REFER TO "INDOOR MOLD REMOVAL PROTOCOL REPORT" AND FOLLOW INSTRUCTIONS FROM REPORT TO RESOLVE THIS ISSUE IF MOLD IS FOUND.

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\*\*\* VERIFY ALL DIMENSIONS ON SITE PRIOR TO INITIATE ANY WORK \*\*\*

LIGHTING LEGEND	
KEY	DESCRIPTION
	UF1 FLUSH MOUNT LIGHT
	UF2 12" FLUSH MOUNT LIGHT
	UF3 BATH VANITY FIXTURE
	UF4 52" CEILING FAN WITH LIGHT
	UF5 6" CANNED LIGHT
	EX-V EXHAUST VENT WITH LIGHT

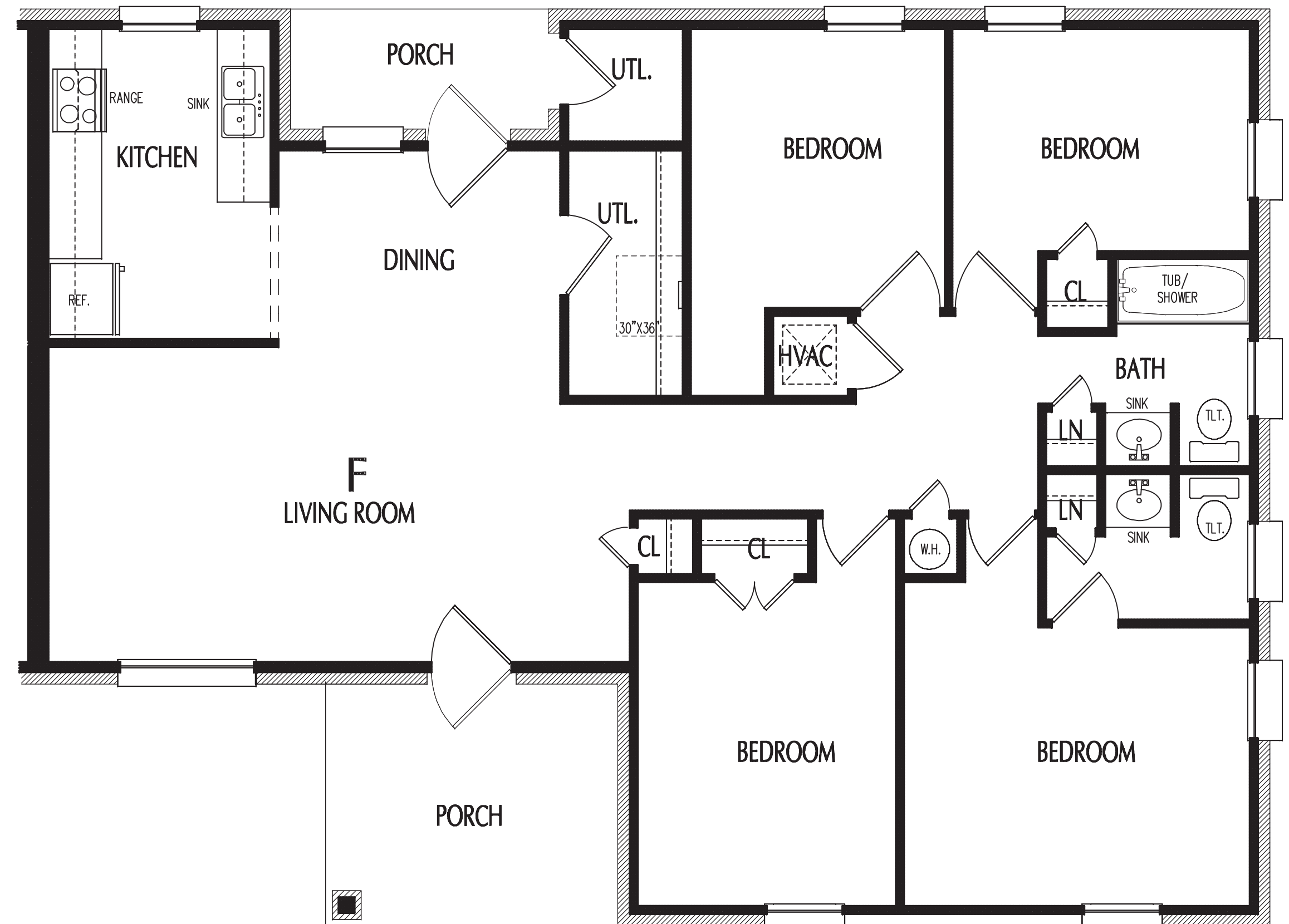
\*\* REFER SPECS FOR FIXTURE DETAILS \*\*  
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10. CLEAN ALL BASEBOARDS.
11. ENSURE ALL SWITCHES/OUTLETS/PLUGS HAVE FACEPLATE COVERS.
12. ENSURE ALL DOOR HANDLES ARE IN WORKING ORDER.
13. ENSURE ALL BATHROOM FIXTURES/ACCESSORIES ARE IN WORKING ORDER.

**LEGEND**

WALLS TO REMAIN



**02 FLOOR PLAN TYPE "F" - MAKE-READY**  
 SCALE: 1/4" = 1'-0" 4373 A STATE ST.

UNIT PLAN

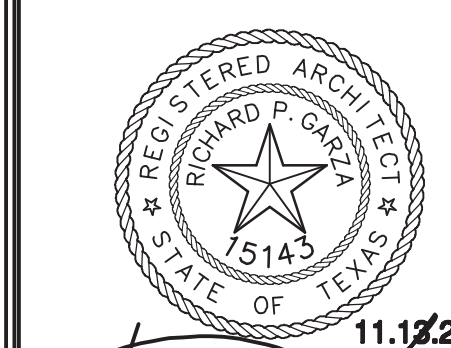
DRAWN BY: **K.R.G.**  
 CHECKED BY: **D.P.H.**  
 DATE: **11.13.2024**  
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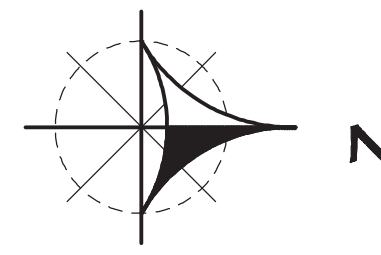
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 UNIT RENOVATIONS AT  
 RIVIERA APARTMENTS  
 ABILENE, TEXAS



*Richard P. Galza*  
 11.13.24

PROJECT NO.  
**2024-009**

SHEET NO.  
**A-1.01R**



NORTH 6TH STREET

ALLEY

MOCKINGBIRD LANE



LEGEND

MAKE-READY - UNITS 102, 208, 303 & 403

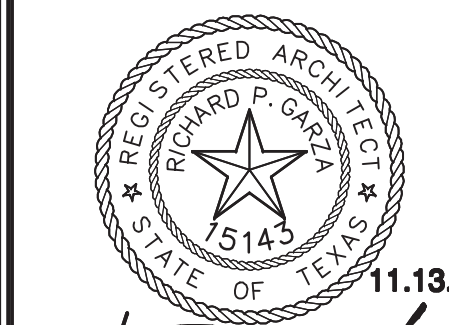
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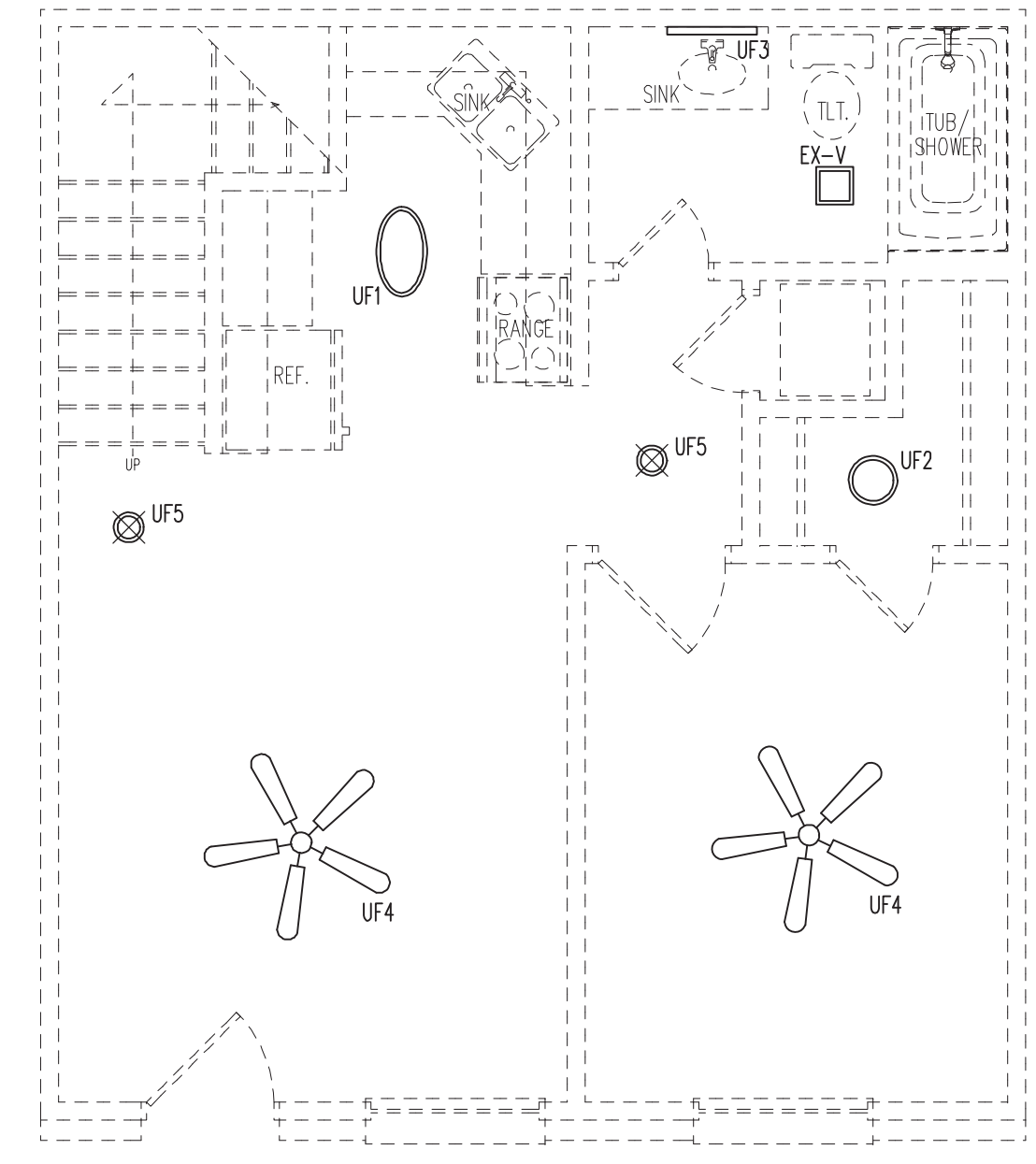
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11.13.2024  
*Richard P. Garza*

PROJECT NO.  
**2024-009**  
 SHEET NO.  
**A-2.01R**

UNIT PLANS



**03 UNIT 102, 303 & 403 - FIRST FLOOR RCP**  
 SCALE: 1/4" = 1'-0" 3- BEDROOM TYPE

NOTE: 001  
 CONTRACTOR IS RESPONSIBLE TO PERFORM PHYSICAL INSPECTION FOR EACH UNIT IN ORDER TO ACCURATELY PRICE ALL WORK TO BE DONE.

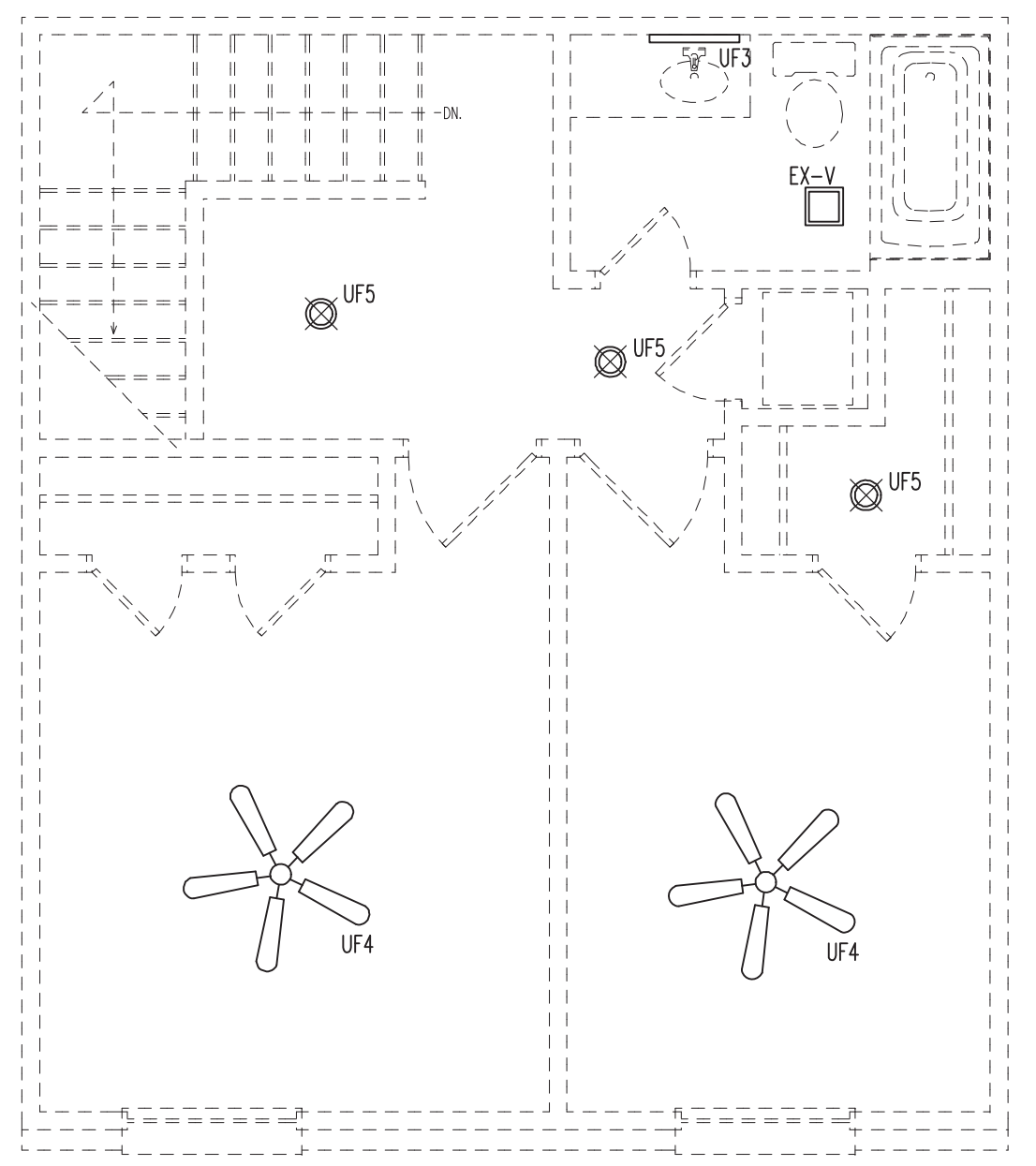
NOTE: 002  
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\*\*\* VERIFY ALL DIMENSIONS ON SITE PRIOR TO INITIATE ANY WORK \*\*\*

LIGHTING LEGEND	
KEY	DESCRIPTION
	UF1 FLUSH MOUNT LIGHT
	UF2 12" FLUSH MOUNT LIGHT
	UF3 BATH VANITY FIXTURE
	UF4 52" CEILING FAN WITH LIGHT
	UF5 6" CANNED LIGHT
	EX-V EXHAUST VENT WITH LIGHT

\*\* REFER SPECS FOR FIXTURE DETAILS \*\*  
 \*\*\* GENERAL CONTRACTOR TO FIELD VERIFY EXISTING LOCATION USE EXISTING WIRE & SWITCH LOCATIONS \*\*\*



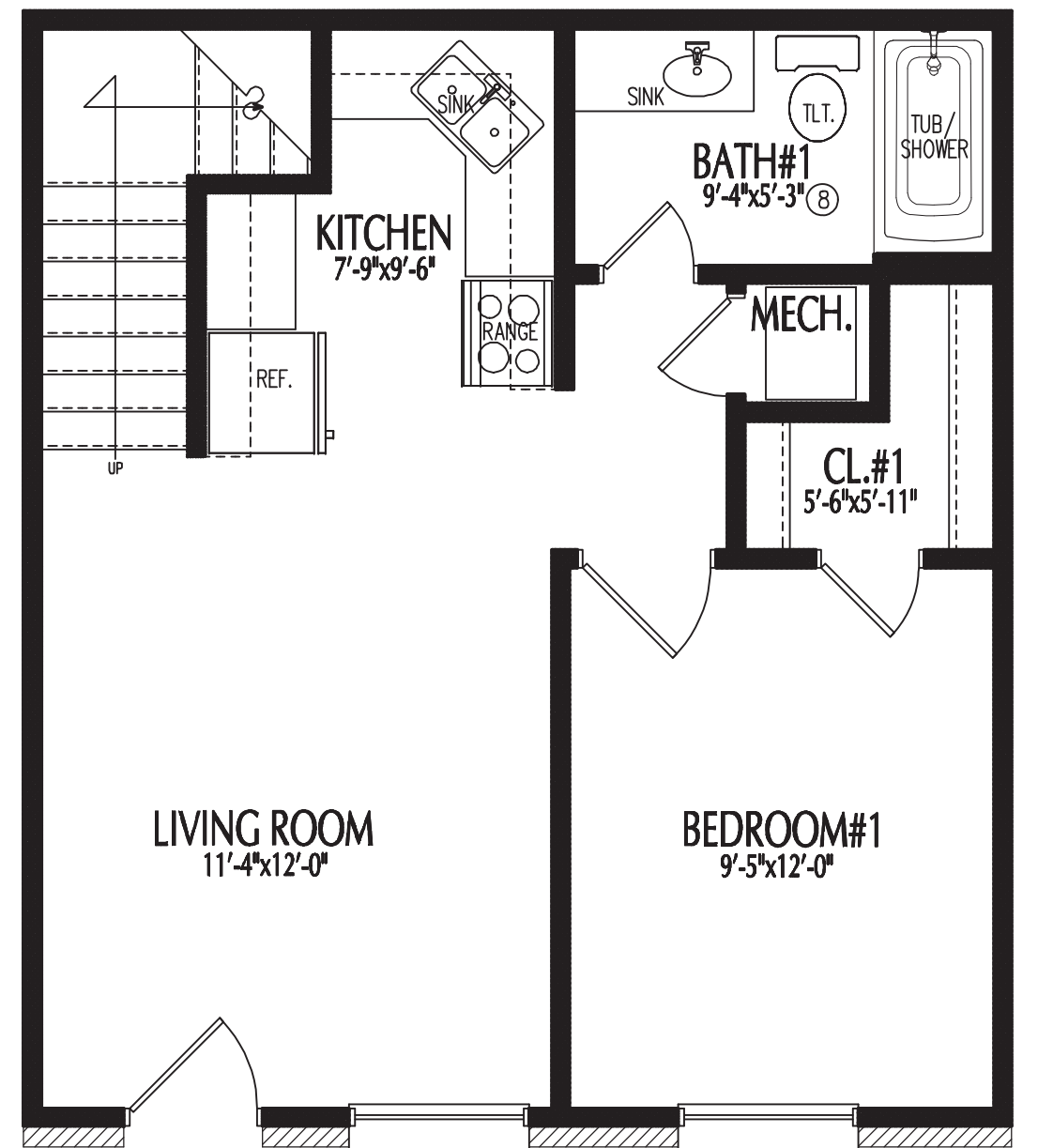
**04 UNIT 102, 303 & 403 - SECOND FLOOR RCP**  
 SCALE: 1/4" = 1'-0" 3- BEDROOM TYPE

**MAKE -READY NOTES**

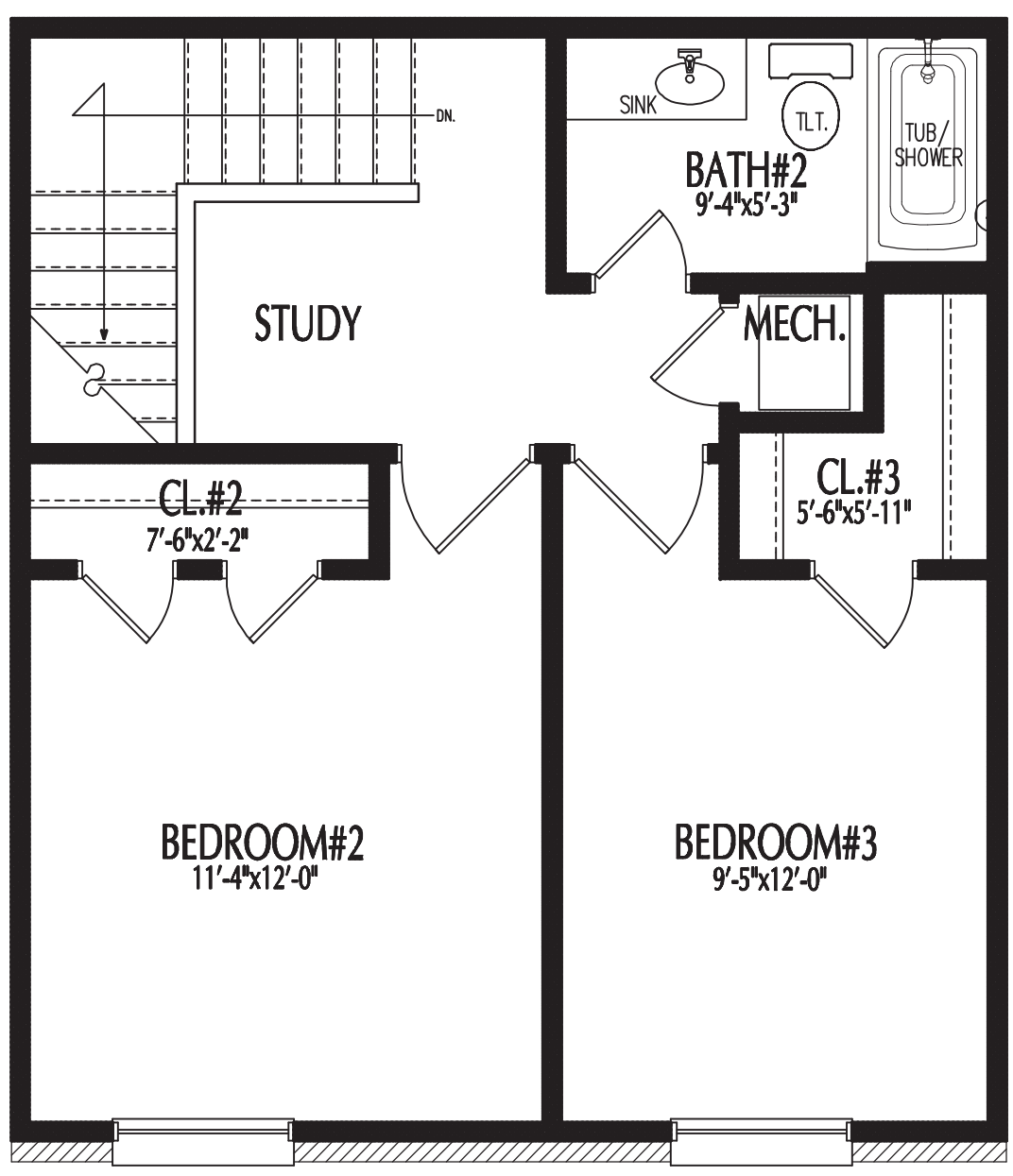
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4. CLEAN ALL CABINETS.
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13. ENSURE ALL BATHROOM FIXTURES/ACCESSORIES ARE IN WORKING ORDER.

**LEGEND**

WALLS TO REMAIN



**01 UNIT 102, 303 & 403 - FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0" 3- BEDROOM TYPE



**02 UNIT 102, 303 & 403 - SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0" 3- BEDROOM TYPE

DRAWN BY: **F.S.G., K.R.G.**  
 CHECKED BY: **R.P.G.**  
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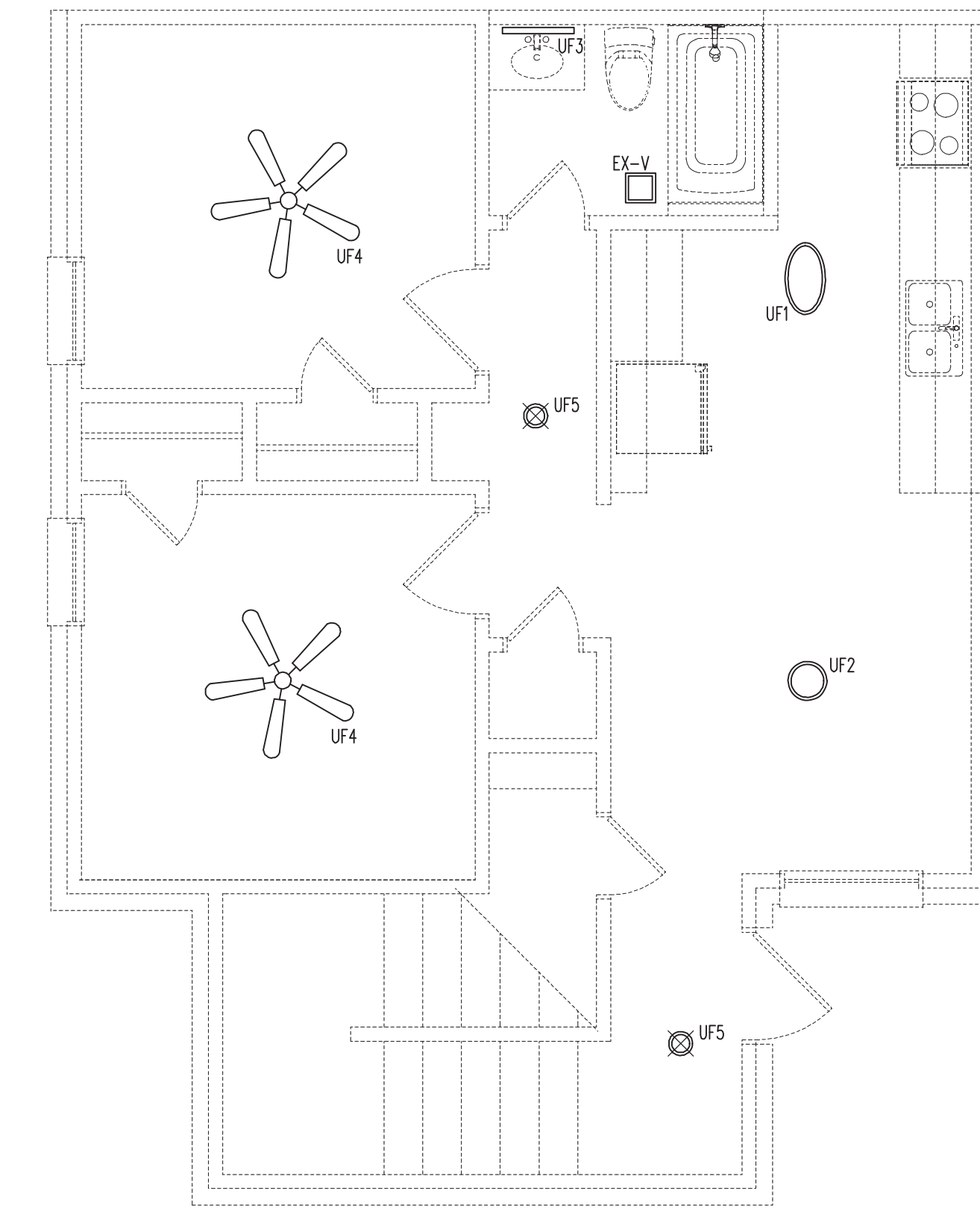
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**ABILENE HOUSING AUTHORITY**  
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 ABILENE, TEXAS



11.13.20  
*Richard P. Gora*

PROJECT NO. **2024-009**  
 SHEET NO. **A-2.02R**



**03 UNIT 208 - 1ST.FL. RCP**  
 SCALE: 1/4" = 1'-0" 4-BEDROOM TYPE

NOTE: 001  
 CONTRACTOR IS RESPONSIBLE TO PERFORM PHYSICAL INSPECTION FOR EACH UNIT IN ORDER TO ACCURATELY PRICE ALL WORK TO BE DONE.

NOTE: 002  
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\*\*\* VERIFY ALL DIMENSIONS ON SITE PRIOR TO INITIATE ANY WORK \*\*\*

LIGHTING LEGEND		
KEY	DESCRIPTION	
	UF1	FLUSH MOUNT LIGHT
	UF2	12" FLUSH MOUNT LIGHT
	UF3	BATH VANITY FIXTURE
	UF4	52" CEILING FAN WITH LIGHT
	UF5	6" CANNED LIGHT
	EX-V	EXHAUST VENT WITH LIGHT

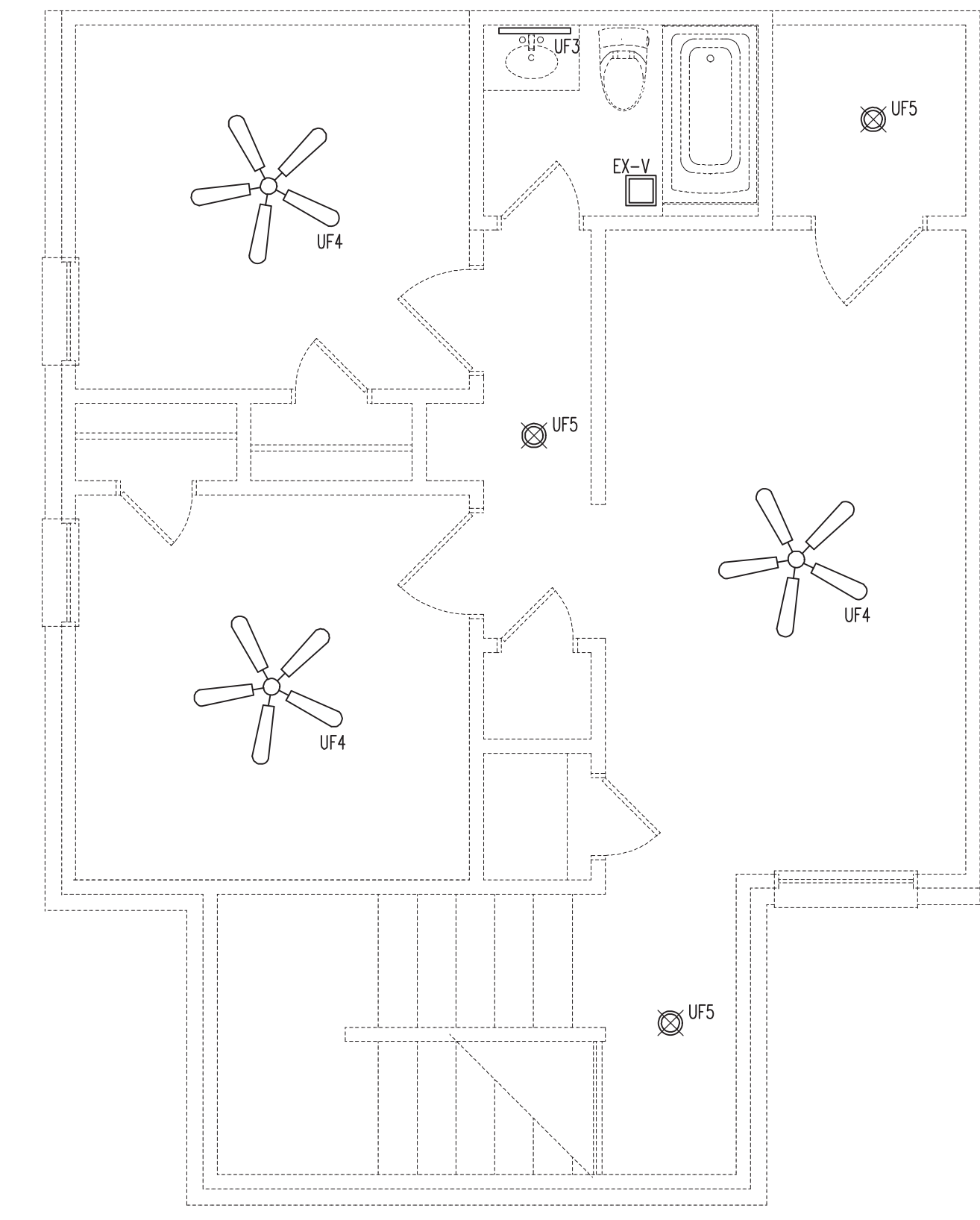
\*\*\* REFER SPECS FOR FIXTURE DETAILS \*\*\*  
 \*\*\* GENERAL CONTRACTOR TO FIELD VERIFY EXISTING LOCATION USE EXISTING WIRE & SWITCH LOCATIONS \*\*\*

**MAKE -READY NOTES**

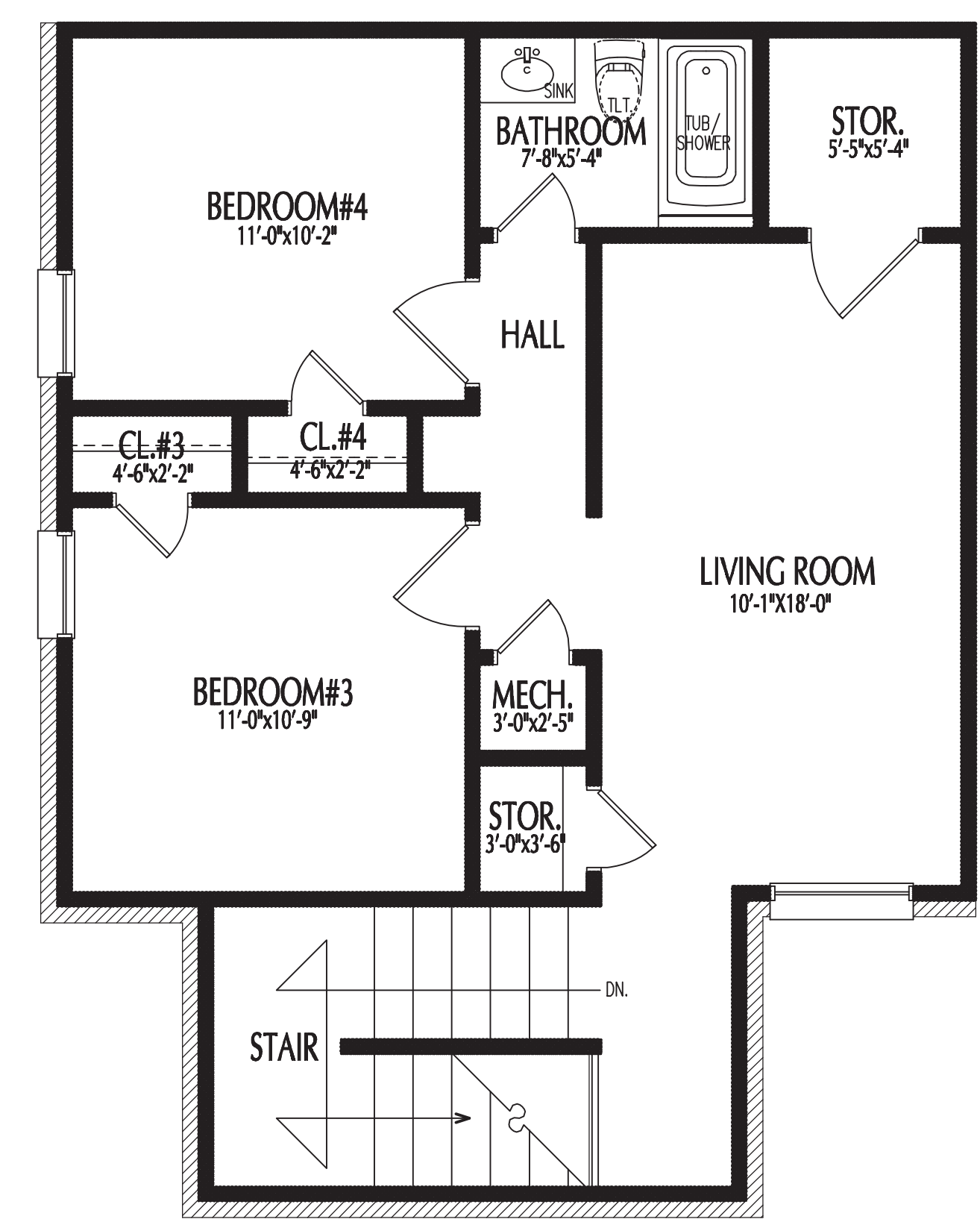
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**LEGEND**

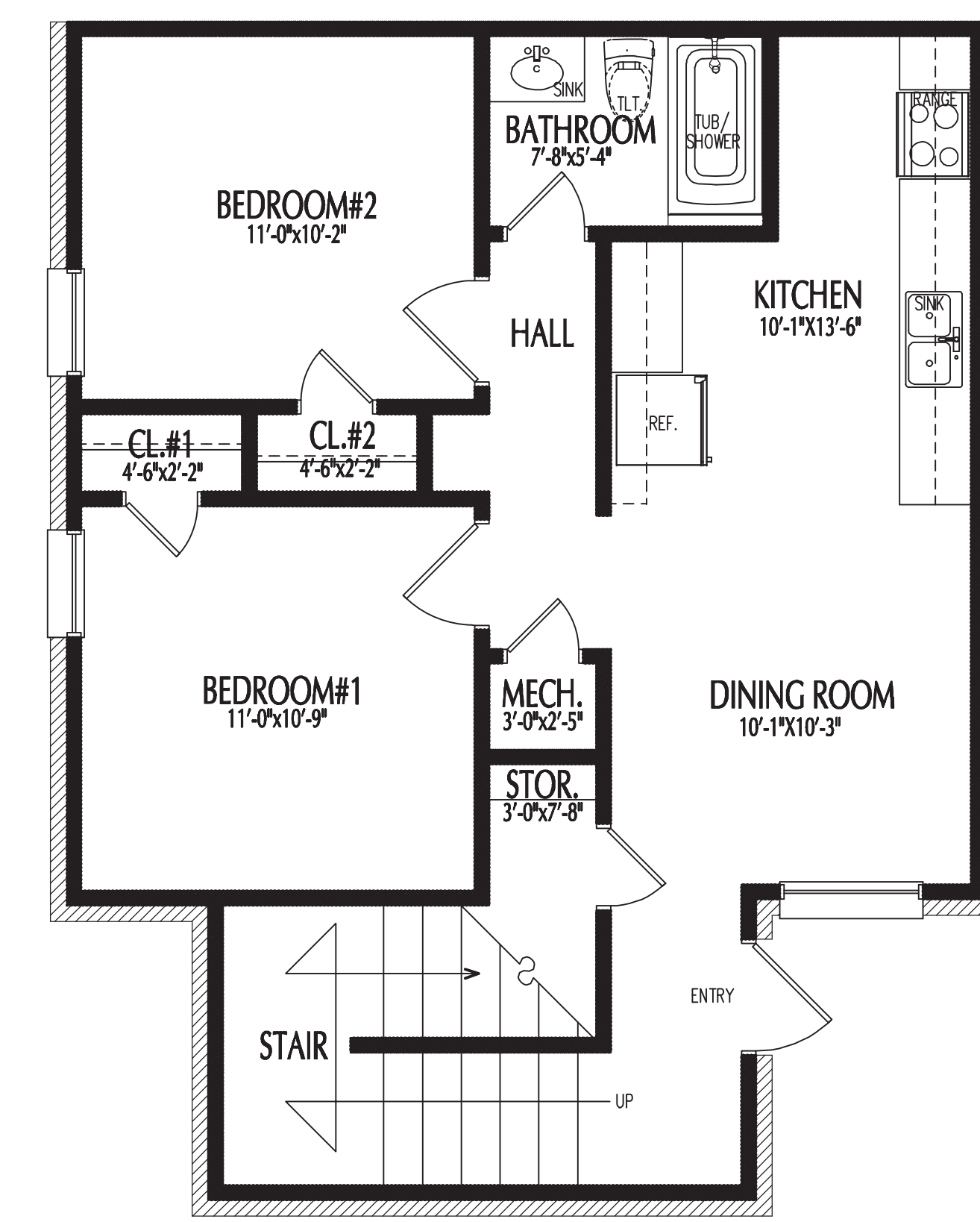
	WALLS TO REMAIN
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**04 UNIT 208 - 2ND.FL. RCP**  
 SCALE: 1/4" = 1'-0" 4-BEDROOM TYPE



**02 UNIT 208 - SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0" 4-BEDROOM TYPE



**01 UNIT 208 - FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0" 4-BEDROOM TYPE

UNIT PLANS